



MEETING OF THE PLANNING COMMISSION

Town Board Room

807 Mountain Avenue

Town of Berthoud, Colorado

Thursday, August 14, 2025, 6:00 p.m.

This is an IN-PERSON meeting at the location and time noted above.

This meeting will be streamed live on YouTube. The live stream is accessible by visiting www.berthoud.org/stream

1. Call Meeting To Order
2. Pledge Of Allegiance
3. Roll Call
4. Approval Of Meeting Minutes From The July 10, 2025 Planning Commission Meeting

Documents:

[2025 07 10 MINUTES PC.PDF](#)

5. Public Hearing: Proposed Amendments To The Mountain Avenue Overlay District
Recommendation to the Planning Commission to repeal and replace Section 30-3-115,
Mountain Avenue Overlay District of Chapter 30 of the Berthoud Municipal Code

Documents:

[PC MTN OVERLAY PACKET.PDF](#)

6. Land Use Code Update Overview
Review engagement activities directing modifications to the Land Development Code and
summarizing the modifications to be presented at a future public hearing

Documents:

[00 PC OVERVIEW MEMO.PDF](#)

7. Report By Staff

8. Adjourn

Individuals needing special accommodation may request assistance by contacting the Town Clerk at 807 Mountain Avenue, Berthoud, Colorado 80513, 970-532-2643 at least 24 hours in advance.



**Garden
Spot of
Colorado**

**Town of Berthoud Planning Commission
Town Hall
Board Room
807 Mountain Avenue, Berthoud, CO 80513
July 10, 2025 at 6:00 p.m.**

1. Meeting called to order – Chairperson Anderson at 6:00 p.m.

2. Pledge of Allegiance

3. Roll Call

The following Planning Commission members were present:

Karen Anderson, Chair
Abigail Smith, Vice Chair
Nick Semedallas, Commissioner
Stacy Sigman, Commissioner
Marc Hofmans, Commissioner

The following Planning Commission members were absent:

David Pond, Commissioner
Mark Brodie, Commissioner

The following staff members were present:

Anne Johnson, Community Development Director
Tawn Hillenbrand, Planning Manager
Bella Manzo, Planner

4. Approval of Minutes from June 26, 2025 were moved for approval by Commissioner Sigman and a second to the motion was made by Commissioner Hofmans.

5. Public Hearing: A Public Hearing to consider a request for a Preliminary Plat known as Farmstead Acres, continued from May 22, 2025, located approximately 560-feet west of the N. Dorothy Drive and Remuda Road intersection, south of Mountain Avenue.

- a. Planning Manager Tawn Hillenbrand provided a staff presentation at 6:02 p.m.
- b. The applicant was represented by Todd Johnson and they provided a presentation at 6:10 p.m.
- c. Public testimony was opened at 6:22 p.m. and closed at 6:23 p.m. No members of the public provided testimony.
- d. Planning Commissioners deliberated and discussed the Criteria of Approval for the proposed Preliminary Plat. Discussion opened at 6:22 p.m. and closed at 6:27 p.m.
- e. Commissioner Sigman moved to send a recommendation of approval to the Town Trustees of the Farmstead Acres Preliminary Plat request as proposed. A second to this motion was made by Commissioner Semedallas.
- f. The public hearing closed at 6:28 p.m.

6. Public Hearing: A Public Hearing to consider a request for a Minor Subdivision known as Buckardt, located at 806 2nd Street, located on the east side of 2nd Street, approx. 100 feet south of Franklin Avenue.
 - a. Planning Manager Tawn Hillenbrand provided a staff presentation at 6:28 p.m.
 - b. The applicant was represented by Tom Donnelly and they provided a presentation at 6:35 p.m.
 - c. Public testimony was opened at 6:41 p.m. and closed at 6:41 p.m. No members of the public provided testimony.
 - d. Planning Commissioners deliberated and discussed the Criteria of Approval for the proposed Minor Subdivision. Discussion opened at 6:42 p.m. and closed at 6:44 p.m.
 - e. Commissioner Semedalas moved to send a recommendation of approval to the Town Trustees of the Buckardt Minor Subdivision request as proposed. A second to this motion was made by Commissioner Hofmans.
 - f. The public hearing closed at 6:44 p.m.
7. Public Hearing: Proposed Amendments to Chapter 30 of the Berthoud Municipal Code regarding Short-term Rentals were presented by Planning Manager Tawn Hillenbrand.
 - a. Planning Manager Tawn Hillenbrand provided a staff presentation at 6:45 p.m.
 - b. Public testimony was opened at 7:10 p.m. and closed at 7:10 p.m. No members of the public provided testimony.
 - c. Planning Commissioners deliberated and discussed the proposed Amendment. Discussion opened at 7:11 p.m. and closed at 7:17 p.m.
 - d. Commissioner Sigman moved to send a recommendation of denial to the Town Trustees of the Amendment request as proposed. A second to this motion was made by Commissioner Hofmans.
 - e. The public hearing closed at 7:17 p.m.
8. Public Hearing: Proposed Amendments to Chapter 30 of the Berthoud Municipal Code regarding the Mountain Avenue Overlay District were presented by Community Development Director Anne Johnson.
 - a. Community Development Director Anne Johnson provided a staff presentation at 7:18 p.m.
 - b. Public testimony was opened at 7:56 p.m. and closed at 8:01 p.m. The following members of the public provided testimony: Lynn Larsen.
 - c. Planning Commissioners deliberated and discussed the proposed Amendment. Discussion opened at 8:01 p.m. and closed at 8:05 p.m.
 - d. Commissioners accepted Staff's suggestion to withdraw the amendments to the Mountain Avenue Overlay District from the ordinance currently containing both Short-term Rental and Mountain Avenue Overlay amendments. The Planning Commission will meet with staff to discuss options for the two character districts.
 - e. The public hearing closed at 8:06 p.m.
9. Report by Staff:
 - a. There will be no meeting of the Planning Commission on July 24, 2025.
 - b. Commissioner Brodie has been appointed to the Town Board of Trustees, as such there is currently a vacancy on the Planning Commission.
 - c. Land Use Hearings will be upcoming during the Planning Commission meetings on August 14, 2025, August 28, 2025, and September 9, 2025.
 - d. Town Attorney Erin Smith will be present for the Planning Commission meeting on September 25, 2025 to review the e-notebook with commissioners, and for a work session to talk about a range of topics.

10. Adjourn

The meeting was adjourned by Motion of Commissioner Sigman and seconded by Commissioner Hofmans at 8:19 p.m.

Chairperson

Secretary

PLANNING COMMISSION INFORMATION

COMMUNITY DEVELOPMENT DEPARTMENT



Meeting Date:	August 14, 2025
Agenda Title/Subject:	Ordinance 13XX (Series 2025) Public Hearing to present proposed amendments to the Mountain Avenue Overlay District, amending Chapter 30, Section 3-115 of the Berthoud Municipal Code
Type of Item:	Public Hearing
Purpose:	Recommendation to the Planning Commission to repeal and replace Section 30-3-115, Mountain Avenue Overlay District of Chapter 30 of the Berthoud Municipal Code
Presented by:	Anne Johnson, Community Development Director

ATTACHMENTS:

- Draft Ordinance 13XX (Series 2025)
- Code Amendments in redline format, Section 3, Mountain Avenue Overlay District
- Code Amendments in clean format, Section 3, Mountain Avenue Overlay District
- Public Notice

MOUNTAIN AVENUE OVERLAY DISTRICT BACKGROUND

In 2019, the Town Trustees adopted the Mountain Avenue Overlay District with the goal of protecting and enhancing the existing historic context of downtown while guiding the general character of Mountain Avenue, the Town's Main Street. Staff and Trustees toured the Downtown Commercial and Residential Conversion Districts in February 2025 and determined that the majority of the Neighborhood Conversion District had already been converted to commercial uses. Therefore, integrating the Residential Conversion District into the Downtown Commercial District was a logical step in managing the future development of downtown Berthoud.

The Code presentation before you includes minor clean-up work as well as replacing the Mountain Avenue Overlay District map and deleting the Residential Conversion District.

Planning Commissioners requested further information at their July 10, 2025 meeting regarding this subject. Following this request, staff and Planning Commission members participated in walking tours of the Mountain Avenue Overlay character districts (Downtown Commercial and Residential Conversion).

UPDATE/NEXT STEPS:

The Planning Commission's recommendation on the proposed amendment to the Short-term Rental regulations and those amendments to the Mountain Avenue Overlay District will be provided to the Town Board of Trustees' introduction hearing on September 9, 2025 and at the public hearing on September 23, 2025.

FISCAL IMPACT AND FUND SOURCE:

There is no negative fiscal impact to the Town in amending the Town Development Code, Chapter 30 of the Municipal Code to amend the Mountain Avenue Overlay District standards.

COMMUNITY TOUCHSTONES:

Consideration of the amendment request does not negatively impact community touchstones. Consideration of approval of the request does provide support for enhancing community identity, provides support to strengthen the Town's sustainability and resiliency goals and affords the community with a transparent set of standards to know what the expectations are for developing and redeveloping within the Mountain Avenue Overlay District.

RECOMMENDED ACTION(S):

Staff recommends the Planning Commission approve the amendments contained in the attached draft Ordinance with all attached Appendices and forward their recommendation of approval to the Town Board of Trustees.

**TOWN OF BERTHOUD ORDINANCE
NUMBER 13XX (2025)**

**AN ORDINANCE TO REPEAL AND REPLACE BERTHOUD MUNICIPAL CODE SECTION
30-3-115 REGARDING THE MOUNTAIN AVENUE OVERLAY DISTRICT**

WHEREAS, the Town of Berthoud is a municipal corporation possessing all powers granted to a statutory town by Title 31 of the Colorado Revised Statutes; and

WHEREAS, the Town amends the Municipal Code when necessary for clarification and to keep current with best management practices as well as the changing nature of the community; and

WHEREAS, the Town adopted the Mountain Avenue Overlay District in 2019. Staff and Trustees toured the District in February 2025. Staff and Planning Commission toured the District in July, 2025. Results of the tour indicated expanding the Downtown Commercial District into a portion of the Residential Conversion District is appropriate as the majority of the properties have already been converted to commercial uses; and

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN BOARD OF TRUSTEES OF THE TOWN OF BERTHOUD, COLORADO:

Section 1. The attached Exhibit A contains a redline version of Section 30-3-115 and shall be repealed and replaced in its entirety reflective of Exhibit B which is a clean version of Section 30-3-115.

Section 2. Interpretation: This Ordinance shall be so interpreted and construed to effectuate its general purpose.

Section 3. Effective Date: The provisions of this Ordinance shall take effect thirty (30) days following the date of public hearing to adopt Ordinance 13XX (2025).

[INTENTIONALLY LEFT BLANK]

INTRODUCED, READ, AND APPROVED on first reading this 9th day of September, 2025.

TOWN OF BERTHOUD

By _____

William Karspeck, Mayor

ATTEST:

By: _____

Christian Samora, Town Clerk

INTRODUCED, READ, ADOPTED, AND APPROVED on second reading this 23rd day of September, 2025.

TOWN OF BERTHOUD

By _____

William Karspeck, Mayor

ATTEST:

By: _____

Christian Samora, Town Clerk

30-3-115 Mountain Avenue Overlay District

1. *Intent:* The Mountain Avenue Overlay District is a corridor focused on protecting and enhancing the existing historical districts and directing the general character of new development and redevelopment along Mountain Avenue/Highway 56. The overlay district defines and emphasizes unique character districts along the corridor and sets specific guidelines as to architecture, site planning, parking, urban design and streetscapes within this area. The underlying zoning remains, and but specific design, architecture and setback requirements are governed by the overlay district.
2. *Applicability/Boundaries:*
 - a. *Boundary of Mountain Avenue Overlay District.* The boundary of this Mountain Avenue Overlay District (herein referred to as the "Mountain Avenue Overlay District") shall be the area so labeled and depicted in the map below, and as approved in the official zoning map, which is incorporated herein by reference; which generally extends along HWY 56 and is applicable to all properties within 150 feet of the centerline of Hwy 56, Larimer County Road 8, and Weld County Road 44 within Town Limits.



- b. *Applicability.* All of the regulations and requirements of this Section shall fully apply when any of the following occur (the property must be brought into full compliance with this Article when any of the following occur):
 1. Construction of any new Structure.
 2. Parking area reconfiguration (repair and restriping of existing parking lot is exempt).
 3. Structural Alterations. Any structural alteration shall follow the Mountain Avenue Overlay District regulations as follows:
 - i. *Exterior Walls.* When any change is made to the façade or an exterior wall of an existing structure, all of the façade visible from Mountain Avenue, shall be brought into full compliance with the Mountain Avenue Overlay District found herein.
 - ii. *Addition(s):* Any addition must be in full compliance with the Mountain Avenue Overlay.

4. See [the Section on Signs in this Mountain Avenue Overlay District regulations as well as the separate Section on Signs in this ChapterSection 7 Signs.](#)
 5. Change of Use. Any change of use will require compliance with applicable standards of the Mountain Avenue Overlay [District](#).
- c. *Exemptions:*
1. General property maintenance and/or general property repair, such as roof repairs, interior remodels and repair, paint, and any other non-structural repair, or;
 2. The maintenance, repair, upgrading or replacement of any water, sewer, HVAC, or electrical facilities will not trigger a requirement that such property or structure be brought into compliance with the Mountain Avenue Overlay District.
 3. Existing single-family homes are exempt from the requirements of this overlay and shall follow the development standards of the underlying zoning district.
- d. *Legal Non-conformities.*
1. Except as provided in this District to the contrary; all nonconforming uses, nonconforming structures and nonconforming lots, shall be governed by [the Section regarding Nonconformities in this ChapterSection 30-3-107.](#)
3. *Overlay Requirements—Character Districts.* The 7.75-mile corridor passes through several distinct environments, each with a unique and definable character that separate them from other places along the corridor. These districts are often defined by architecture, land uses, scale, density, streetscapes, and landscaping. This Overlay protects and enhances the character of each district.
- A. *Berthoud West Character District.* This is a largely undeveloped district with views of the Rocky Mountains, and in close proximity to downtown and Highway 287. This area is envisioned as a vibrant walkable commercial district with opportunities for shopping, employment and other services. Though this district is in close proximity to the town core, it will build on the unique characteristics of downtown, but not replicate it.
1. *District Extent:* This district extends approximately 800 feet west of Hwy 287 and east to 8th Street. [Refer to the Mountain Avenue Overlay District map found in this Section. The parcels that are located within this district are highlighted in the map below.](#)

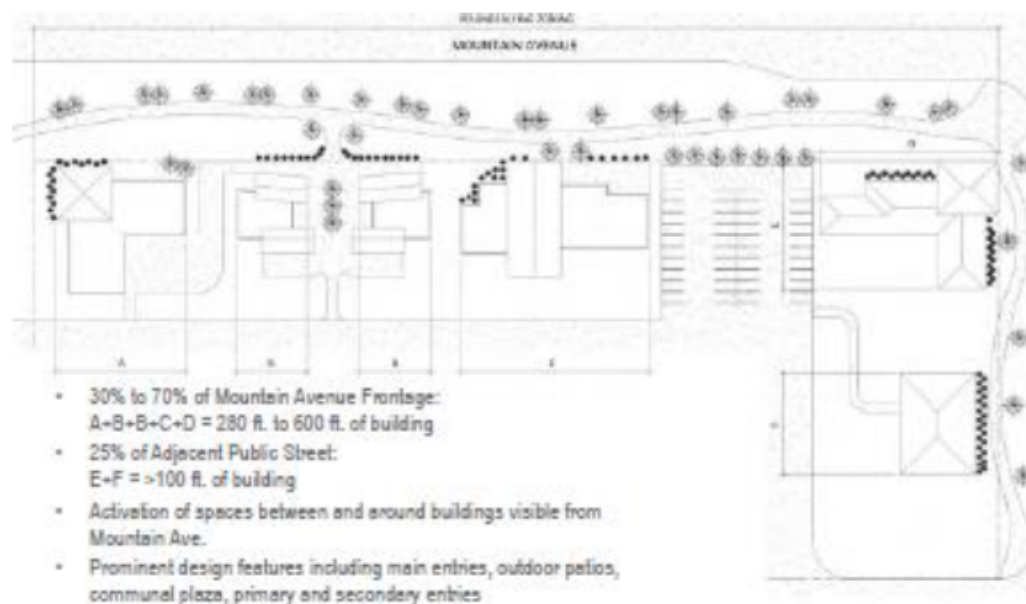


2. *Architecture:*

Intent: As primarily a commuter route with limited business access, high vehicular speeds have been the norm, but are expected to be reduced with development to encourage pedestrians and cyclists. Building location and entry orientation will also play a key role in enhancing the patron's experience.

- a. *Building Façades.* Buildings'-façades along Mountain Avenue shall extend along a minimum of 35 percent but not more than 75 percent of the total property frontage and be built to the required setback line with minor variations for façade-articulation.

Figure 3.8: Building Frontage Requirements



- b. *Overall Building Location and Placement of Key Features.*
 - i. *Configuration:* Configuration and placement of buildings shall give intentional shape and layout to adjacent exterior gathering spaces and pedestrian/bicycle connections, while being site-specific in response to landscape and hardscape features. "Cookie-cutter" flat-façade buildings that lack articulation and site-specific features will not be allowed. Building placement should follow the principles in Figure 3.9 below.
 - ii. *Site Planning:* Modern site planning principles include efforts to combine the infrastructure required to develop from building to building or lot to lot. Sharing infrastructure such as detention, parking, internal pedestrian spaces are strongly encouraged.
 - iii. *Staggered Setbacks and Heights:* A variation in building placement by staggering setbacks as well a variation in building heights is required for any multi-tenant site plan or Master Plan.
 - iv. *Limited Access:* Limited access directly from Mountain Avenue allows for long stretches of uninterrupted streetscapes, improves traffic flow on Mountain Ave, and increases the need for automobile access to developments from cross-streets and back streets.

Figure 3.9: Building Placement Example



c. *Exterior Activation.*

- i. *Requirement for Exterior Activation:* Each building/site plan property must possess at least one of the following locating the features so they are readily-visible to and from Mountain Avenue to ensure a strong visual connection: outdoor patios, primary and secondary entries, canopies and other features help "activate" a development.
- ii. *Screening:* Three-dimensional building elements to act as screening for service type accessories including roof- and ground-mounted HVAC equipment, electrical/gas meters, loading docks/service entries, etc. These service equipment components shall not be visible from the public R.O.W. or from adjacent properties/uses.

d. *Massing and Articulation.*

- i. *Compatibility and Configuration:* A building's three-dimensional configuration plays a significant role in determining the impact it will have on the surrounding environment. The proposed building shall be designed to be compatible with other structures in the surrounding vicinity in size, scale and character. Building mass shall be well-proportioned and organized to define various horizontal and vertical

elements while clearly expressing the internal function of the building. See Figure 3.10.

- ii. *Multiple Buildings:* Multiple buildings in a common commercial development shall be consistent in architectural form/detailing, materials, roof styles and colors to achieve a harmonious design vocabulary and continuity within itself.
- iii. *Multi-tenant buildings/Buildings over 60 Feet Long:* Large retail buildings shall be broken down into a series of complementary forms with a clearly defined pattern. Blend larger flat roof areas with smaller pitched roof elements that denote key functions such as entries or primary window groupings. Horizontal step backs of the façade shall be significant in relation to the overall length and scale of the building. For instance, a 60 feet long building should have two to three primary massing elements with at least four feet to six feet of grade plane changes (i.e. eight to ten percent of the overall length). Screening elements for items such as ground-mounted or roof-mounted mechanical equipment shall be integrated into the building design and not appear as an after-thought. Creating large expanses of windows with a branded display wall in close proximity to the glass so that it is readily visible from the exterior is not permitted.

Figure 3.10: Four-Sided Architecture Example



e. *Materials and Colors.*

- i. *Exterior Materials:* façade materials shall be high-quality, durable products such as brick, stone or decorative precast concrete. The primary building skin shall be a high-quality, aesthetically pleasing, durable material such as brick, natural stone, manufactured stone, especially at the base of the building that is susceptible to damage by maintenance equipment such as plows, shovels, mowers, etc.
- ii. *Primary Material:* The primary material shall constitute at least 65 percent of the total wall area for the front and side façades visible from Mountain Avenue and at least 50 percent for the rear façade; excluding the glazing area of the façade.
- iii. *Glazing:* Exterior glazing shall be high-performance clear glass (not tinted or reflective) with a low-E coating and visible light transmittance (Tvis) of 60 percent or higher. Use of opaque/spandrel glass to simulate ground-level vision windows is discouraged. Creating large expanses of windows

with a branded display wall in close proximity to the glass so that it is readily visible from the exterior is not permitted.

- iv. *Secondary façade materials:* may include cement-based stucco, hardboard siding or decorative metal panels with concealed fasteners and low-gloss finish.

Figure 3.11: Façade Examples

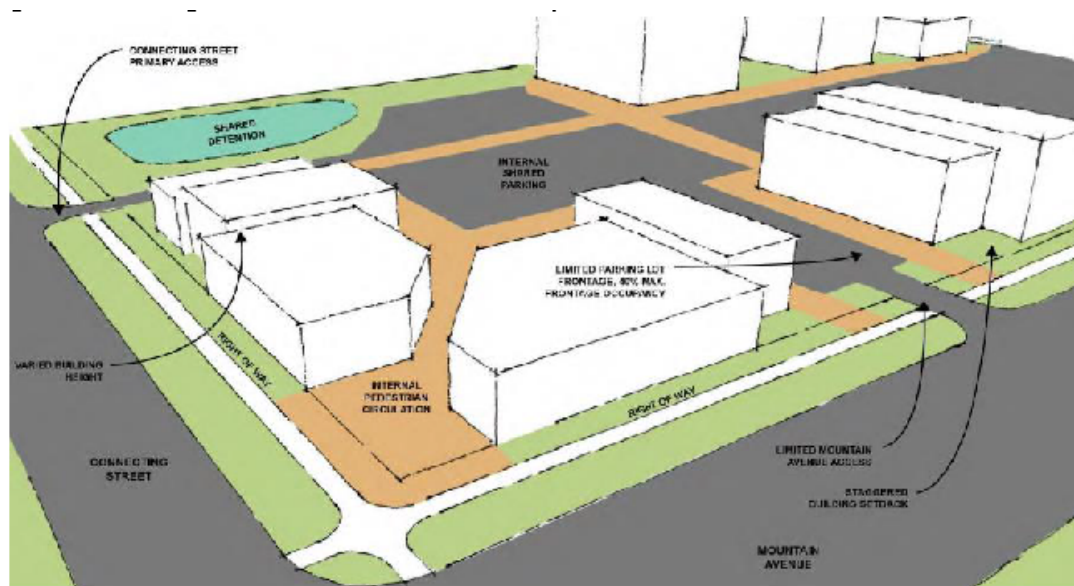


- v. *Screening elements:* such as site walls for parking lots and trash enclosures shall be of the same high-quality durable material as the primary building skin.
- vi. *Primary Façade Colors:* Primary building façade colors shall be non-reflective, muted neutral or earth tones with only small "pops" of bright, higher intensity colors. High-gloss, metallic finishes or fluorescent colors are not allowed.

3. *Parking:*

- a. *Parking:* On-street diagonal parking is proposed on Gateway Park Blvd within the proposed village center. To reduce its visual presence on Mountain Avenue, required parking shall be located behind and between buildings. Required parking areas shall not occupy more than 40 percent of the Mountain Avenue frontage and must not be forward of any building or structure. In addition, such parking areas shall be screened by a landscape hedge, wrought iron fence, or wall as detailed in Table 3.4.
- b. *Drive Thru:* Restaurant and bank drive-through areas shall be oriented away from Mountain Avenue and shall only be accessed by a rear access drive, with no visible drive-through areas fronting Mountain Avenue, as described in Table 3.4.
- c. *Shared Parking:* New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

Figure 3.12: Parking and Pedestrian Circulation Examples



4. *Signage:*

[Refer to the Sign Section in this Chapter Section 7 Signs](#) for specific signage requirements.

Table 3.4 Berthoud West Character District Dimensional Standards

Mountain Avenue Development Criteria		
Description		Berthoud West
	Density and Lot Coverage	Per Underlying Zoning
A	Building Height ⁵	Maximum: 3 Stories (40 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line
Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	14 ft. min, 20 ft. max
D	Secondary or side street	20 ft. min ⁸
E	Side yard (3 stories)	10 ft. min
E	Side yard (2 Stories)	Per Underlying Zoning
E	Side yard (1 Story)	Per Underlying Zoning
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning
Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁹	20 ft min. or 5 ft greater than building setback, whichever is greater
I	Secondary or side street	20 ft. min
J	Side yard	5 ft. min 0 ft. if shared
K	Rear	5 ft. min 0 ft. if shared
	Max parking and driveway frontage ⁴	40% of lot frontage
Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	0 ft.
	Awnings	0 ft.
	Balconies	0 ft.

	Bay windows and building projections	0 ft.
	Building eaves	0 ft.
	Patio cover roof	0 ft.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a zero-foot setback.
2. A six-foot minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a ten-foot minimum vertical clearance above the sidewalk elevation or finished grade.
4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be three feet min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15 percent.
6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40 percent into the required setback.
7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
8. Zero-foot setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
9. Drive-through windows shall not be oriented towards Mountain Avenue and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.

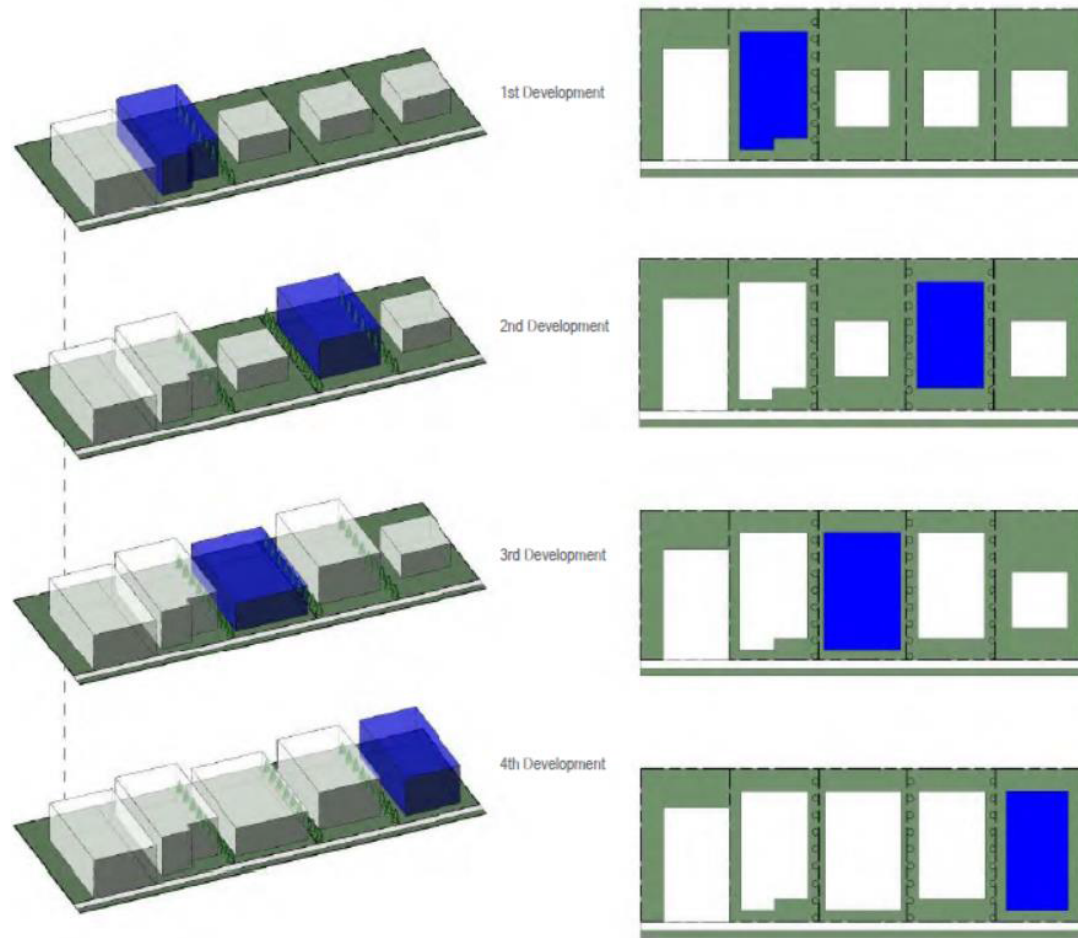
B. *Residential Conversion District.* This district is characterized by charming older homes occupied by businesses and commercial uses. Majestic street trees create a seemingly continuous canopy over Mountain Avenue, and expanded green spaces surrounding the homes and detached walks with tree lawns create a walkable neighborhood.

1. *District Extents:* The Residential Conversion character district extends along Mountain Avenue between 8th Street and 7th Street on the south side of Mountain Avenue. The Residential Conversion character district extends along Mountain Avenue between 8th Street and the western half of the block between 5th and 6th Streets. 5th Street in the downtown area. Refer to the Mountain Avenue Overlay District map found in this Section. The parcels that are located within this district are highlighted in the map below.



2. *Preservation of Historic Homes and Context:*
 - i. Additions should be located to the side and/or rear of the house and should be consistent with the scale of the original home. Side additions should be setback from the front face enough to allow the profile of the original structure to be clear and obvious.
 - ii. When converting a single-family house to a new use, original location and character of the front porch/ stoop shall be maintained.
 - iii. Providing handicapped accessibility to existing historic homes that typically have elevated stoops and porches must maintain the integrity of the original historic structure.
3. *Building Setbacks:* Building setbacks within the Residential Conversion District will need to maintain a portion of the typically large front lawn space of original historic homes, while allowing for the transition to smaller front and side yard lot line necessary for newer developments. Building Setbacks must follow Figure 3.13 below.

Figure 3.13: Special Residential Conversion District Infill Setback Examples



The diagram above shows the progression of new development adjacent to existing residential structures and how, over time, the block can infill with a higher density while respecting the residential character that currently exists.

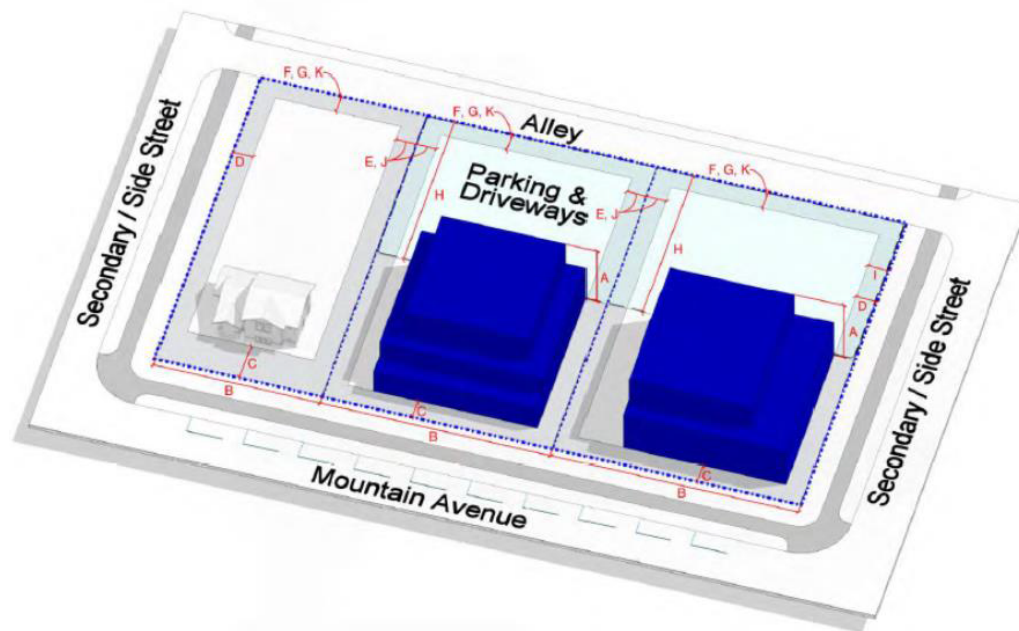
4. *Architectural Guidelines For New Construction:*

- i. General proportions should be consistent with adjacent structures, including similar floor-to-floor heights and solid-to-void ratios.
- ii. Divide larger structures into smaller components that more closely mimic the traditional single-family home dimensions. These series of smaller components should not be more than 25 feet to 30 feet wide and be expressed in wall panel changes of at least eight feet; as well as material changes.
- iii. Although plate-lines/roofs on new construction will be taller, they should be consistent in form and character. This can be accomplished by blending predominately flat roof areas over larger expanses with sloped roof elements at key accent locations such as entries and highly-visible corners.
- iv. Step down stories and rooflines from back to front and from side to side.
- v. The diversity of architectural styles that currently exists shall be retained to the greatest extent possible.
- vi. New buildings shall be oriented parallel to their lot lines with the primary entry integrated into a porch or portico design element facing Mountain Avenue.

5. *Parking:*

- a. *Parking:* Required parking shall be located behind and between buildings. Only 40 percent of required on-site parking may be allowed along Mountain Avenue frontage and shall not be forward of any building or structure. In addition, such parking areas shall be screened by a landscape hedge, wrought iron fence, or wall as detailed in Table 3.5.
- b. *Drive-through Thru Areas:* Restaurant and bank drive-through areas are not permitted.
- c. *Shared Parking:* New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

Figure 3.14: Parking Location



6. *Signage:* The type, scale and style of signage should be designed to complement the residential character of this district.
 - a. Building mounted, monument signs are preferred; pole signs are prohibited
 - c. See Section 7 Signs for additional signage requirements.

Table 3.5 Residential Conversion Character District Dimensional Standards

Mountain Avenue Development Criteria		
Description		Residential Conversion
Density and Lot Coverage		Per Underlying Zoning
A	Building Height ⁵	Maximum: 3 Stories (40 feet) Minimum: 2 Stories (20 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line

Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	10 ft. min, 20' max
D	Secondary or side street	10 ft min, 15 ft. max
E	Side yard (3 stories)	10' ft. min
E	Side yard (2 Stories)	5 ft. min
E	Side yard (1 Story)	5 ft. min
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning
Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁹	Behind building, accessed from alley where possible
I	Secondary or side street	5 ft. min
J	Side yard	0 ft. min
K	Rear	0 ft. min
	Max parking and driveway frontage ⁴	0%
Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	8 ft. max. ²
	Awnings	6 ft. max
	Balconies	4 ft. max ³
	Bay windows and building projections	2 ft. max
	Building eaves	2 ft. max
	Patio cover roof	2 ft. max.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a zero-foot setback.
2. A six-foot minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a ten-foot minimum vertical clearance above the sidewalk elevation or finished grade.
4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be three feet min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15 percent.
6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40 percent into the required setback.
7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
8. Zero-foot setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
9. Drive-through windows shall not be oriented towards Mountain Avenue and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.

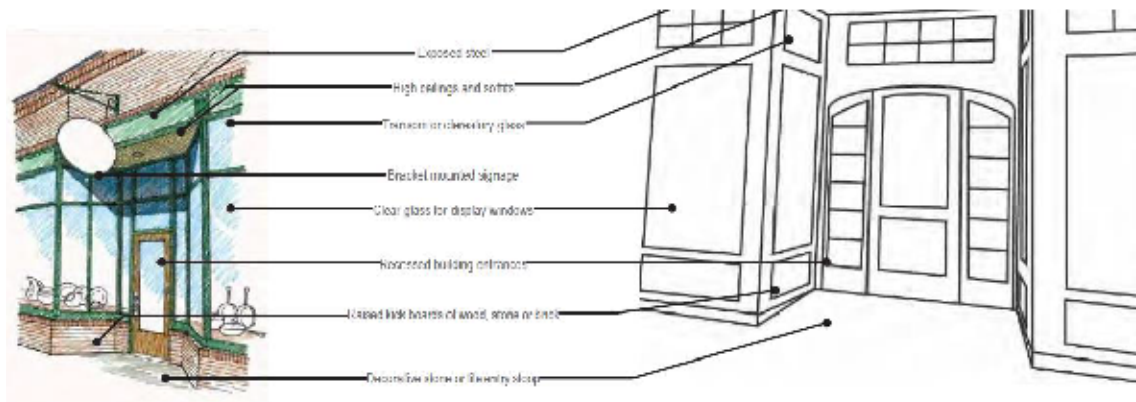
C. *Downtown Commercial Character District.* Berthoud's Downtown District represents a concentration of character and personality, and shapes much of the Town's identity. Its buildings give a sense of history, its businesses and restaurants show the liveliness of the town, and its quirks set it apart from other towns in Northern Colorado.

1. *District Extent:* The Downtown Commercial character district extends along Mountain Avenue between 75th Street and 1st Street on the south side of Mountain Avenue and between the east half of the block between 5th and 6th Street to 1st Street on the north side of Mountain Avenue in the downtown area. Refer to the Mountain Avenue Overlay District map found in this Section



2. *Architectural Guidelines:*
 - a. *Ground level storefronts:* Ground level retail storefronts are indicative of the mercantile economy of historic downtowns of the late 19th and early 20th centuries. They often feature formal, symmetrical façades, large expanses of display windows flush with the building front walls, recessed entrances and decorative glass transoms. Such storefronts should possess the following characteristics as depicted in Figure 3.156 and as described below:
 - i. Retail storefronts create an intimate, pedestrian scale along the street, encouraging residents to slow down, interact and window shop.
 - ii. Primarily glazed, ground level storefronts create a distinction between the public retail façade and the more private areas of the upper levels, often expressed by individual punched window openings.
 - iii. The higher ceilings of historic, ground level retail storefronts have a character not often found in more modern construction.

Figure 3.15: Ground Level Storefront Example

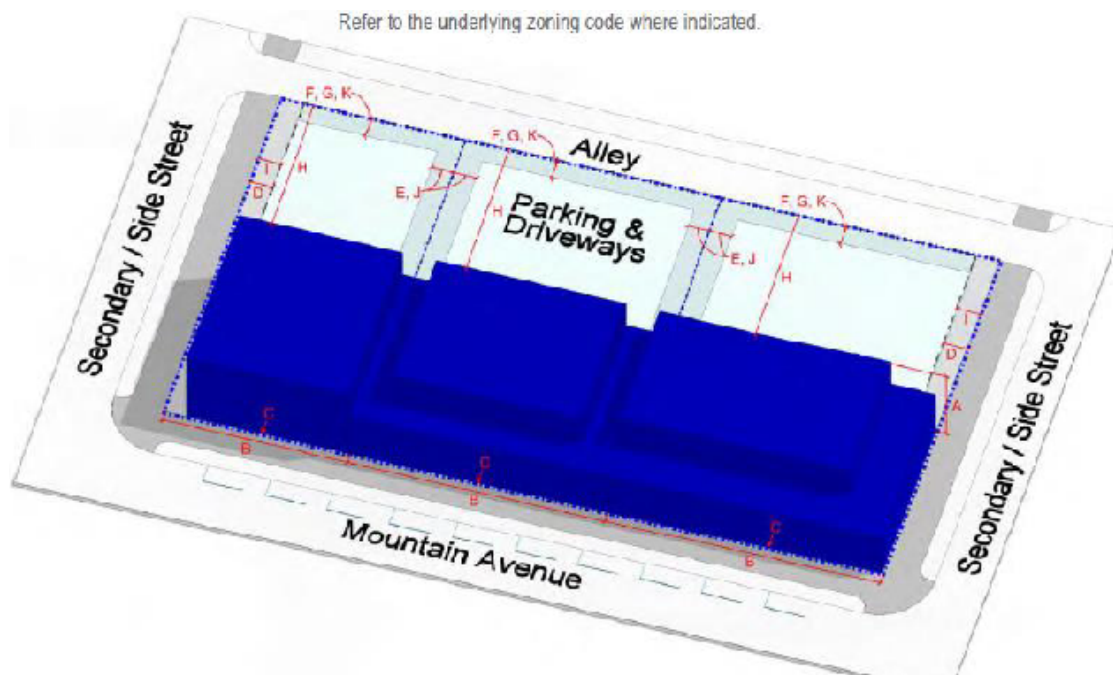


- b. *Infill development/Design:* Communities are encouraging infill development of vacant downtown properties and redevelopment of inappropriate or underutilized buildings to revitalize their historic downtowns. Designed properly, new construction can blend seamlessly with original, historic buildings to create a vibrant downtown environment.
 - i. Maintain natural materials and colors that often utilize local materials and represent the workmanship of local craftsmen. Modern metal siding and other industrial materials are inappropriate as primary façade materials in the historic downtown area.
 - ii. New infill development shall not mimic the exact historic designs and details of existing structures but pick up on the rhythm and spacing of elements to be compatible with and complementary to them.
 - iii. Orient building parallel to street and align front façade with established sidewalk edge.
 - iv. If a portion of the building must be set back, use traditional urban site features to maintain defined sidewalk edge noted above
 - v. Create a clearly defined front entry recessed at least three feet so out-swinging doors do not project into the perpendicular circulation path
 - vi. Predominate massing at the front property line should be one- or two-stories with setbacks for additional stories
 - vii. Floor-to-floor heights shall appear to be consistent with heights traditionally seen in older adjacent buildings
 - viii. Building Materials: Utilize similar high-quality, durable materials such as brick or stone with only accents of more modern materials
- c. *Building Awnings:* Awnings have been used for centuries to shade the façades and display windows of buildings and provide residents with protection from the elements. Awnings also provide a unifying design element to enhance the downtown streetscape and provide opportunities for colorful accents and signage.
 - i. Awnings Encouraged: Awnings are encouraged on all development.
 - ii. Awnings should be consistent with primary building, and color should accent the primary building. On-Street Parking:

3. *Parking and Access:*

- a. On-site parking areas shall be located at the rear of any building as depicted on Figure 3.165.
- b. Curb Cuts: No new curb cuts from Mountain Avenue shall be allowed.
- c. Drive-through Thru Areas: Restaurant and bank drive-through areas are not permitted.
- d. Shared Parking: New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

Figure 3.16: Parking and Access Examples



4. **Signage:**
 - a. In general, building mounted signs are recommended in this district. This includes wall mounted signs, window signs, and awning signs. The type, scale and style of the signage should be designed to complement the character of this district and the building that the sign is associated with.
 - b. Sidewalk Signs: Please see Section 30-7-110
 - c. Monument signs are prohibited in this district.
 - d. See Section 7 Signs for additional signage requirements.

Table 3.6 Downtown Commercial Character District Dimensional Standards

Mountain Avenue Development Criteria		
Description		Downtown Commercial
	Density and Lot Coverage	Per Underlying Zoning
A	Building Height ⁵	Maximum: 3 Stories (40 feet) Minimum: 2 Stories (20 feet)
B	Minimum Lot Width	Per Underlying Zoning

	Building Orientation	Parallel to Front lot line
Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	0 ft. min, 10 ft. max ¹
D	Secondary or side street	0 ft. min, 10 ft. max ¹
E	Side yard (3 Stories)	0 ft.
E	Side yard (2 Stories)	0 ft.
E	Side yard (1 Story)	0 ft.
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning
Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁹	Behind building, not accessed from Mountain Avenue
I	Secondary or side street	5 ft. min
J	Side yard	0 ft. min
K	Rear	0 ft. min
	Max parking and driveway frontage ⁴	0%
Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	8 ft. max ²
	Awnings	6 ft. max
	Balconies	4 ft. max ³
	Bay windows and building projections	2 ft. max
	Building eaves	2 ft. max
	Patio cover roof	2 ft. max.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a zero-foot setback.
2. A six-foot minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a ten-foot minimum vertical clearance above the sidewalk elevation or finished grade.
4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be three feet min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15 percent.
6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40 percent into the required setback.
7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
8. Zero-foot setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
9. Drive-through windows shall not be oriented towards Mountain Avenue and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.

CD. Berthoud East Character District. A transition district from the rural agrarian areas to the downtown core. The undeveloped land on the south side of Hwy 56 is envisioned as a vibrant walkable residential district with a mixed-use area near the intersection of County Line Road 1 providing opportunities for shopping, dining, employment and other services. Appropriate land use, scale and density transitions from existing residential neighborhoods are critical.

1. *District Extents:* The parcels that are located within this district ~~are highlighted in the map below~~ are found on the Mountain Avenue Overlay District map found in this Section. Generally, the

boundary is described as from 1st Street to County Line Road 1 on the north side of Mountain Avenue/ State Highway 56 and from 1st Street to one – half mile east of County Line Road on the south side of Mountain Avenue/ State Highway 56.

~~North side of Hwy 56 — 1st Street to County Line Road 1.~~

~~South side of Hwy 56 — 1st Street to one-half mile east of County Line Road 1.~~



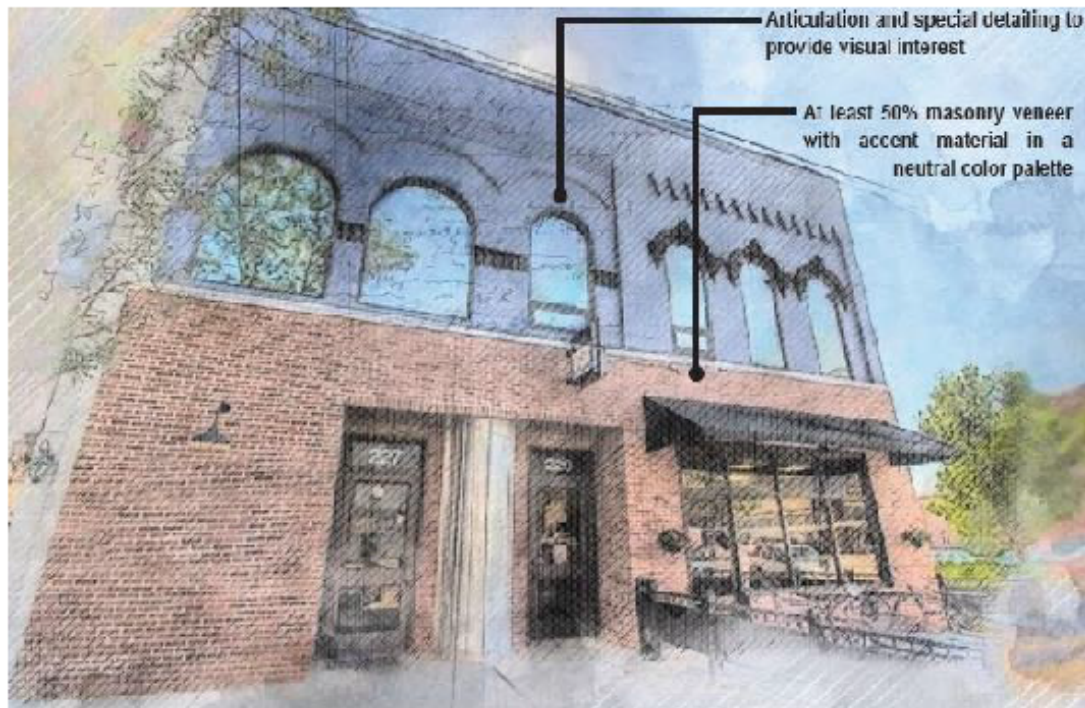
2. *Architectural Guidelines for Berthoud East District:* Similar to the Berthoud West District, the "East District" focuses on building massing and articulation, and to carefully balance economic interests with the public good by ensuring strong pedestrian and bicycle connectivity with the downtown and residential districts to the west.
 - a. *Scale and Density Focus.*
 - i. Multi-story, mixed use buildings will be encouraged in the denser mixed-use areas immediately adjacent to Mountain Avenue and then taper off in height, size and intensity of use as development extends further away from the overlay district.
 - ii. Long façades shall be broken down into smaller architectural expression through stepping. Stepping can be accomplished in both building elevation and in plan. Third story step-backs provide a gradual scale transition between building heights and opportunities for rooftop patio space.

Figure 3.17: Stepping Examples



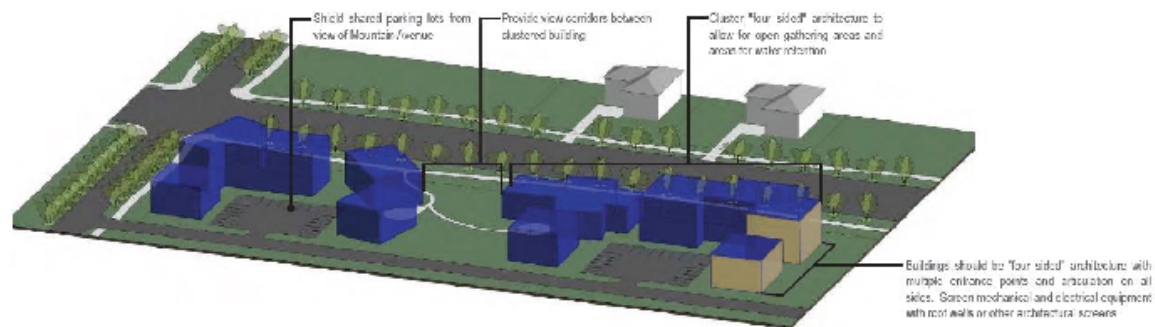
- b. **Building Materiality.** Buildings are meant to convey a sense of permanence and vitality with the use of appropriate materials reinforcing this goal. Materials should be predominantly brick, stone and architectural concrete with accents of wood, stucco or metal wall panels. Variation in materiality is encouraged but should be limited to a maximum of four materiality changes over the total building façade.
- i. Recommended percentage of material variation is as follows:
50 percent to 60 percent — Masonry veneer (brick or stone), architectural concrete
- ii. Up to three accent materials required:
15 percent to 20 percent — Accent material 'A' (wood, stucco or metal wall panel)
15 percent to 20 percent — Accent material 'B' (wood, stucco or metal wall panel)
15 percent to 20 percent — Accent material 'C' (wood, stucco or metal wall panel)
- iii. Articulation and special detailing that provides visual interest and breaks up large expanses of a single building material is supported.
- iv. Color: Color palettes should be primarily of neutral tones with pops of accent color. Accent color and location are to be reviewed and approved with the Site Plan approval process.

Figure 3.18: Materiality Examples



- c. *Balancing Developed Spaces:* Shaping multiple buildings into dense clusters of development, formed around pedestrian and bicycle pathways while leaving reasonable expanses of open areas, will provide view corridors from Mountain Avenue and allow space for water retention.
- i. Buildings shall define a strong street edge with upper floor step back and architectural embellishments at corners and main entry features.
 - ii. Buildings shall be oriented on front edge of setback to Mountain Avenue to allow parking in the rear. This provides for a more aesthetic streetscape by screening parking from Mountain Avenue.
 - iii. Provide "four-sided" architecture with multiple entrance points or articulation and mechanical and electrical equipment screening. All mechanical equipment is to be screened from views from across the street and/or middle of intersections or adjacent properties, whichever is further.

Figure 3.19: Four Sided Architecture



d. *Materials and Colors.*

- i. Exterior ~~façade~~ materials shall be high-quality, durable products such as brick, stone or decorative precast concrete.
- ii. The primary building ~~façade~~ shall be of high-quality durable materials such as brick/stone veneer or decorative precast concrete, especially at the base of the building that is susceptible to damage by maintenance equipment such as plows, shovels, mowers, etc.
- iii. The primary material shall constitute at least 70 percent of the total wall area for the front and side ~~façades~~ visible from Mountain Avenue and at least 50 percent for the rear ~~façade~~; excluding glass.
- iv. Exterior glazing shall be high-performance clear glass (not tinted or reflective) with a low-E coating and visible light transmittance (Tvis) of 60 percent or higher. Use of opaque/spandrel glass to simulate ground-level vision windows is discouraged. Creating large expanses of windows with a branded display wall in close proximity to the glass so that it is readily visible from the exterior is not permitted.
- v. Secondary ~~façade~~ materials can include cement-based stucco, hardboard siding or decorative metal panels with concealed fasteners.
- vi. Screening elements such as site walls for parking lots and trash enclosures shall be of the same high-quality durable material as the primary building skin.
- vii. Primary building ~~façade~~ colors shall be non-reflective, muted neutral or earth tones with only small "pops" of bright, higher intensity colors. Metallic or fluorescent colors are not allowed. ~~Trademark colors specific to a corporate brand shall only be permitted on building signage subject to the sign code.~~

3. *Parking:*

- a. *Parking:* Required parking shall be located behind and between buildings. Only 40 percent of required on-site parking may be allowed along Mountain Avenue frontage and shall not be forward of any building or structure. In addition, such parking areas shall be screened by a landscape hedge, wrought iron fence, or wall as detailed in Table 3.5.
- b. *Drive-through ~~Thru~~ Areas:* Restaurant and bank ~~drive~~ drive through areas ~~thrus~~ are not permitted.
- c. *Shared Parking:* New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

4. *Signage:*

- a. Building mounted signs and ground mounted monument signs with horizontal massing are preferred.
- b. See Section 7 Signs for additional signage requirements.

E. *Agricultural Character District.* Farms, big skies, distant views, and scattered farmsteads provide a pleasant separation between Interstate 25 and the Town which adds to Berthoud's small-town appeal. The primary goal of this district is to retain the rural and agrarian character and to protect the iconic views to the Rocky Mountains.

1. *District Extents:* The Agriculture Character District extents vary on the north and south frontages. Refer to the Mountain Avenue Overlay District map found in this Section. In general, the District extends from County Line Road 1 to one-half mile west of Interstate 25 on the north side of Mountain Avenue/ Highway 56 and one-half mile east of County Line Road 1 to one-half mile west of Interstate 25 on the south side of Highway 56.

- North side of Hwy 56 — County Line Road 1 to one-half mile west of I-25
- South side of Hwy 56 — One-half mile east of County Line Road 1 to one-half mile west of I-25.



2. *Agricultural Character District Architectural Guidelines:* The architectural style of this area is of an agricultural or farmstead nature. It is recommended that all new development compliment this agricultural/farmstead nature.
 - a. Building materials should be of residential grade and include cement-based stucco, hardboard siding, brick, stone, or decorative metal panels with concealed fasteners.
 - b. Roof lines should be of gable end, hip, and valley styles, with dormers, and shed roofs. Clay and concrete tiles are not encouraged.
 - c. Primary Building Façade Colors shall be non-reflective, muted neutral or earth tones, with limited accent colors. Metallic or fluorescent colors are prohibited.

Figure 3.20: Examples of Agricultural Style Development



3. *Signage:*
 - a. Building mounted signs and ground mounted monument signs with horizontal massing are preferred.
 - bc. Please see Section 7 Signs for additional signage requirements.

Figure 3.21: Agricultural Character Setback Graphic

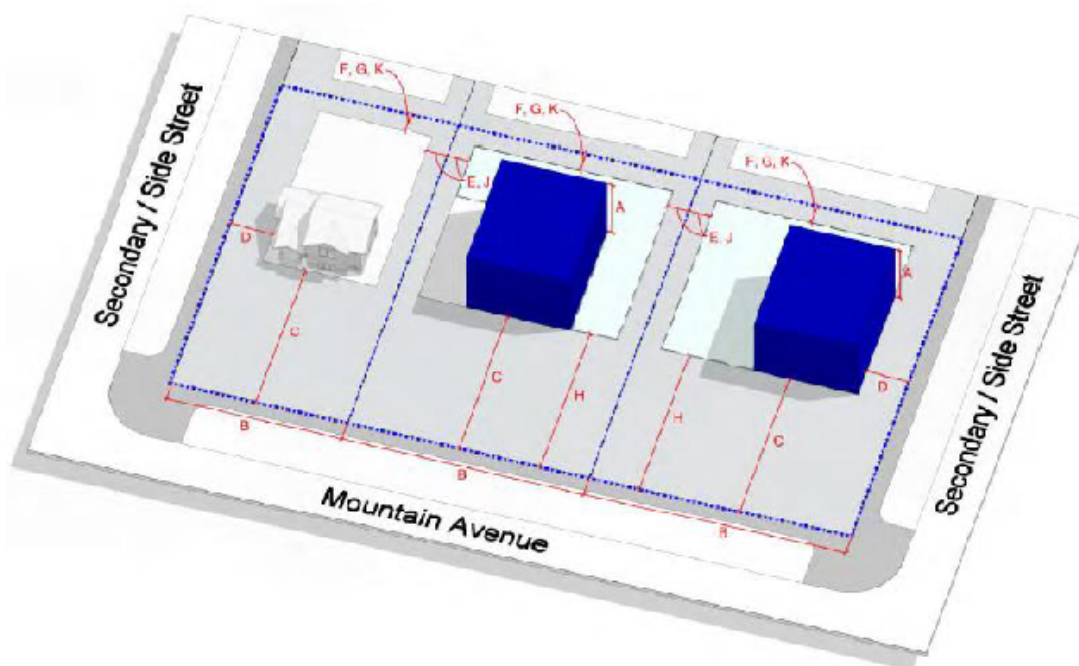


Table. 3.7 Agricultural Character District Dimensional Standards

Mountain Avenue Development Criteria		
Description		Agriculture
	Density and Lot Coverage	Per Underlying Zoning
A	Building Height ⁵	Maximum: 2 Stories (35 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line
Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	80 ft. min

D	Secondary or side street	20 ft. min
E	Side yard (3 Stories)	NA
E	Side yard (2 Stories)	Per Underlying Zoning
E	Side yard (1 Story)	Per Underlying Zoning
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning
Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁹	80 ft. min
I	Secondary or side street	
J	Side yard	5 ft. min, 0 ft. if shared
K	Rear	5 ft. min, 0 ft. if shared
	Max parking and driveway frontage ⁴	40% lot frontage
Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	0 ft.
	Awnings	0 ft.
	Balconies	0 ft.
	Bay windows and building projections	0 ft.
	Building eaves	0 ft.
	Patio cover roof	0 ft.

Notes:

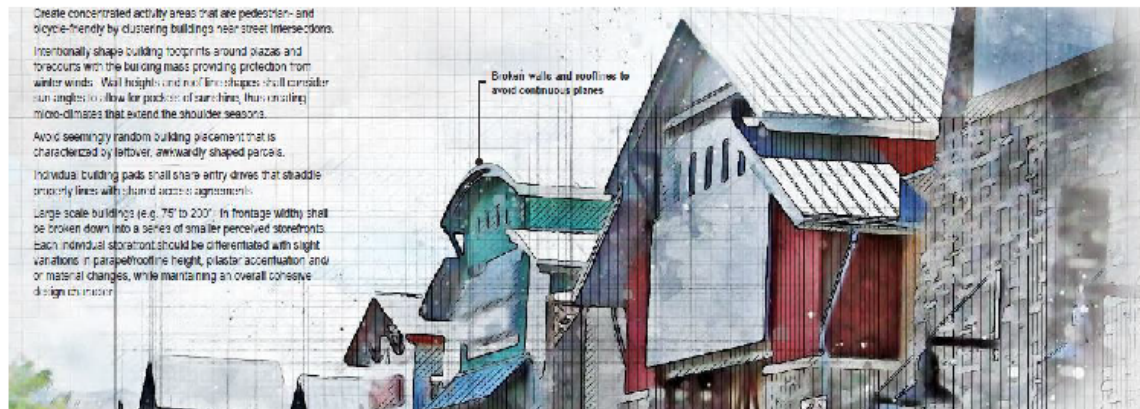
1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a zero-foot setback.
 2. A six-foot minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
 3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a ten-foot minimum vertical clearance above the sidewalk elevation or finished grade.
 4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be three feet min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
 5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15 percent.
 6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40 percent into the required setback.
 7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
 8. Zero-foot setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
 9. Drive-through windows shall not be oriented towards Mountain Avenue, and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.
- F. *New Berthoud Character District.* New Berthoud straddles the I-25/Hwy 56 interchange and is the gateway into Town. The lasting impression should relate to "Berthoud Proper" and offer a fresh new twist.

1. *District Extent:* The New Berthoud Character District extends one-half mile west of [Interstate 25](#) to County Road 11. [Refer to the Mountain Avenue Overlay District map found in this Section](#) ~~Parcels located within this district are highlighted in the map below.~~



2. *Architectural Guidelines for New Berthoud District:* Expansive master planned developments are anticipated in the New Berthoud District with large scale retail/lifestyle uses near the I-25/Mountain Avenue interchange, then transitioning to mixed-use and residential developments further away.
 - a. *Massing and Form.*
 - i. The configuration and massing of these large buildings should give the appearance of individual buildings in the manner of traditional town centers.
 - ii. Wall and rooflines should be broken to avoid continuous planes, giving the appearance of individual buildings being built over an extended period of time but with a consistent architectural vocabulary.
 - iii. Pedestrian approaches should be well-defined with large overhangs or dynamic canopy elements provided for weather protection.
 - iv. Buildings should be clustered near street intersections to create concentrated activity areas that are pedestrian- and bicycle-friendly.
 - v. Building footprints around plazas and forecourts with the building mass providing protection from winter winds. Wall heights and roofline shapes shall consider sun angles to allow for pockets of sunshine, thus creating micro-climates that extend the shoulder seasons.

Figure 3.22: Massing New Berthoud Character District



b. *Massing and Form for Buildings over 75 feet in length.*

- i. Individual building pads shall share entry drives that straddle property lines with shared access agreements.
- ii. Large scale buildings (e.g. 75 feet to 200 feet or more in frontage width) shall be broken down into a series of smaller perceived storefronts. Each individual storefront should be differentiated with slight variations in parapet/roofline height, pilaster accentuation and/or material changes, while maintaining an overall cohesive design character.
- iii. Large scale buildings (e.g. 75 feet to 200 feet or more in frontage width) shall be designed to have scale-defining elements that reduce the perceived size.
- iv. Provide cornice details that terminate in the main field wall while more prominent overhangs cap the defining architectural wall elements.
- v. Provide transom windows to direct natural light deeper into space.
- vi. Pedestrian-scale canopy elements are encouraged to provide shelter from adverse weather conditions, while defining the break between the base and the body of the building.
- vii. First floor storefront base with large expanses of vertically oriented glass (more than 50 percent of façade area) are encouraged for commercial development.

Figure 3.23: Massing for Buildings 75' in width or larger



3. *Parking:*

- a. *Parking:* On-street diagonal parking is proposed on Gateway Park Blvd within the proposed village center. To reduce its visual presence on Mountain Avenue, required parking shall be located behind and between buildings. Required parking areas shall not occupy more than 40 percent of the Mountain Avenue frontage and must not be forward of any building or structure. In addition, such parking areas shall be screened by a landscape hedge, wrought iron fence, or wall as detailed in Table 3.4.
- b. *Drive-through Thru Areas:* Restaurant and bank drive-through ~~thru~~ areas shall be oriented away from Mountain Avenue and shall only be accessed by a rear access drive, with no visible drive-through ~~thru~~ areas fronting Mountain Avenue, as described in Table 3.4.
- c. *Shared Parking:* New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

4. *Signage:*

- a. Building mounted signs and ground mounted monument signs with horizontal massing are preferred.
- b. See Section 7 Signs for additional signage requirements.

Table 6.8 New Berthoud Character District Dimensional Standards

Mountain Avenue Development Criteria		
Description		New Berthoud
	Density and Lot Coverage	Per Underlying Zoning
A	Building Height ⁵	Maximum: 3 Stories (40 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line
Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	80 ft. min
D	Secondary or side street	20 ft. min
E	Side yard (3 Stories)	Per Underlying Zoning
E	Side yard (2 Stories)	Per Underlying Zoning
E	Side yard (1 Story)	Per Underlying Zoning
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning
Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁹	80 ft. min
I	Secondary or side street	
J	Side yard	5 ft. min, 0 ft. if shared
K	Rear	5 ft. min, 0 ft. if shared
	Max parking and driveway frontage ⁴	40% lot frontage
Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	0 ft.
	Awnings	0 ft.
	Balconies	0 ft.
	Bay windows and building projections	0 ft.
	Building eaves	0 ft.
	Patio cover roof	0 ft.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a zero-foot setback.
2. A six-foot minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a ten-foot minimum vertical clearance above the sidewalk elevation or finished grade.
4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be three feet min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15 percent.
6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40 percent into the required setback.
7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
8. Zero-foot setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
9. Drive-through windows shall not be oriented towards Mountain Avenue and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.

30-3-115 Mountain Avenue Overlay District

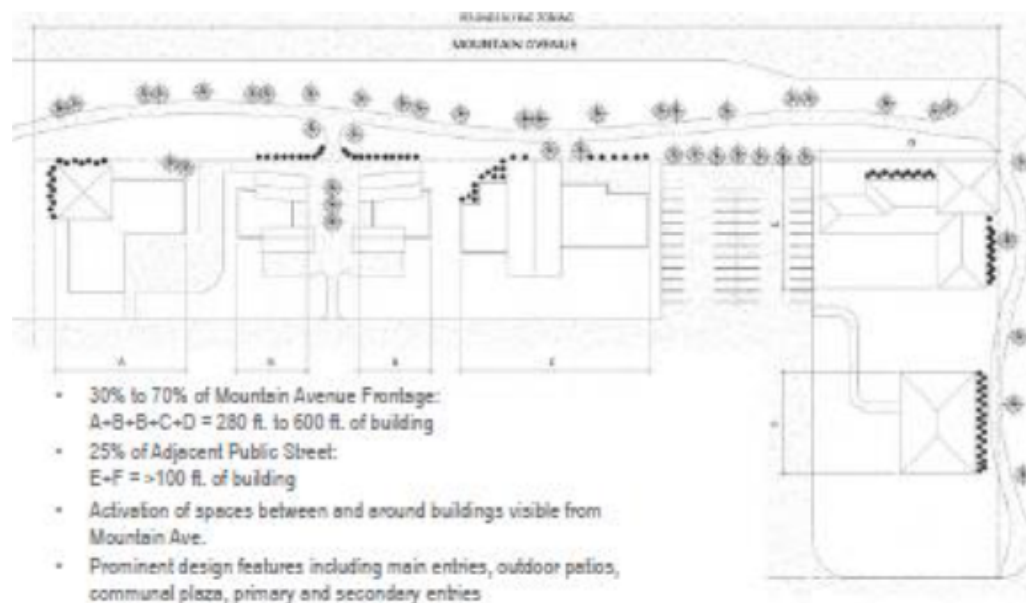
1. *Intent:* The Mountain Avenue Overlay District is a corridor focused on protecting and enhancing the existing historical districts and directing the general character of new development and redevelopment along Mountain Avenue/Highway 56. The overlay district defines and emphasizes unique character districts along the corridor and sets specific guidelines as to architecture, site planning, parking, urban design and streetscapes within this area. The underlying zoning remains, and specific design, architecture and setback requirements are governed by the overlay district.
2. *Applicability/Boundaries:*
 - a. *Boundary of Mountain Avenue Overlay District.* The boundary of this Mountain Avenue Overlay District (herein referred to as the "Mountain Avenue Overlay District") shall be the area so labeled and depicted in the map below, and as approved in the official zoning map, which is incorporated herein by reference; which generally extends along HWY 56 and is applicable to all properties within 150 feet of the centerline of Hwy 56, Larimer County Road 8, and Weld County Road 44 within Town Limits.



- b. *Applicability.* All of the regulations and requirements of this Section shall fully apply when any of the following occur (the property must be brought into full compliance with this Article when any of the following occur):
 1. Construction of any new Structure.
 2. Parking area reconfiguration (repair and restriping of existing parking lot is exempt).
 3. Structural Alterations. Any structural alteration shall follow the Mountain Avenue Overlay District regulations as follows:
 - i. *Exterior Walls.* When any change is made to the façade or an exterior wall of an existing structure, all of the façade visible from Mountain Avenue shall be brought into full compliance with the Mountain Avenue Overlay District found herein.
 - ii. *Addition(s):* Any addition must be in full compliance with the Mountain Avenue Overlay.
 4. See the Section on Signs in this Mountain Avenue Overlay District regulations as well as the separate Section on Signs in this Chapter.

-
5. Change of Use. Any change of use will require compliance with applicable standards of the Mountain Avenue Overlay District.
- c. *Exemptions:*
 1. General property maintenance and/or general property repair, such as roof repairs, interior remodels and repair, paint, and any other non-structural repair, or;
 2. The maintenance, repair, upgrading or replacement of any water, sewer, HVAC, or electrical facilities will not trigger a requirement that such property or structure be brought into compliance with the Mountain Avenue Overlay District.
 3. Existing single-family homes are exempt from the requirements of this overlay and shall follow the development standards of the underlying zoning district.
 - d. *Legal Non-conformities.*
 1. Except as provided in this District to the contrary; all nonconforming uses, nonconforming structures and nonconforming lots, shall be governed by the Section regarding Nonconformities in this Chapter.
3. *Overlay Requirements—Character Districts.* The 7.75-mile corridor passes through several distinct environments, each with a unique and definable character that separate them from other places along the corridor. These districts are often defined by architecture, land uses, scale, density, streetscapes, and landscaping. This Overlay protects and enhances the character of each district.
 - a. *Berthoud West Character District.* This is a largely undeveloped district with views of the Rocky Mountains, and in close proximity to downtown and Highway 287. This area is envisioned as a vibrant walkable commercial district with opportunities for shopping, employment and other services. Though this district is in close proximity to the town core, it will build on the unique characteristics of downtown, but not replicate it.
 1. *District Extent:* This district extends approximately 800 feet west of Hwy 287 and east to 8th Street. Refer to the Mountain Avenue Overlay District map found in this Section.
 2. *Architecture:*
- Intent:* As primarily a commuter route with limited business access, high vehicular speeds have been the norm, but are expected to be reduced with development to encourage pedestrians and cyclists. Building location and entry orientation will also play a key role in enhancing the patron's experience.
- a. *Building Façades.* Buildings'-façades along Mountain Avenue shall extend along a minimum of 35 percent but not more than 75 percent of the total property frontage and be built to the required setback line with minor variations for façade-articulation.

Figure 3.8: Building Frontage Requirements



b. *Overall Building Location and Placement of Key Features.*

- i. *Configuration:* Configuration and placement of buildings shall give intentional shape and layout to adjacent exterior gathering spaces and pedestrian/bicycle connections, while being site-specific in response to landscape and hardscape features. "Cookie-cutter" flat-façade buildings that lack articulation and site-specific features will not be allowed. Building placement should follow the principles in Figure 3.9 below.
- ii. *Site Planning:* Modern site planning principles include efforts to combine the infrastructure required to develop from building to building or lot to lot. Sharing infrastructure such as detention, parking, internal pedestrian spaces are strongly encouraged.
- iii. *Staggered Setbacks and Heights:* A variation in building placement by staggering setbacks as well a variation in building heights is required for any multi-tenant site plan or Master Plan.
- iv. *Limited Access:* Limited access directly from Mountain Avenue allows for long stretches of uninterrupted streetscapes, improves traffic flow on Mountain Ave, and increases the need for automobile access to developments from cross-streets and back streets.

Figure 3.9: Building Placement Example



c. *Exterior Activation.*

- i. *Requirement for Exterior Activation:* Each building/property must possess at least one of the following locating the features so they are readily-visible to and from Mountain Avenue to ensure a strong visual connection: outdoor patios, primary and secondary entries, canopies and other features help "activate" a development.
- ii. *Screening:* Three-dimensional building elements to act as screening for service type accessories including roof- and ground-mounted HVAC equipment, electrical/gas meters, loading docks/service entries, etc. These service equipment components shall not be visible from the public R.O.W. or from adjacent properties/uses.

d. *Massing and Articulation.*

- i. *Compatibility and Configuration:* A building's three-dimensional configuration plays a significant role in determining the impact it will have on the surrounding environment. The proposed building shall be designed to be compatible with other structures in the surrounding vicinity in size, scale and character. Building mass shall be well-proportioned and organized to define various horizontal and vertical elements while clearly expressing the internal function of the building. See Figure 3.10.

- ii. *Multiple Buildings:* Multiple buildings in a common commercial development shall be consistent in architectural form/detailing, materials, roof styles and colors to achieve a harmonious design vocabulary and continuity within itself.
- iii. *Multi-tenant buildings/Buildings over 60 Feet Long:* Large retail buildings shall be broken down into a series of complementary forms with a clearly defined pattern. Blend larger flat roof areas with smaller pitched roof elements that denote key functions such as entries or primary window groupings. Horizontal step backs of the façade shall be significant in relation to the overall length and scale of the building. For instance, a 60 feet long building should have two to three primary massing elements with at least four feet to six feet of grade plane changes (i.e. eight to ten percent of the overall length). Screening elements for items such as ground-mounted or roof-mounted mechanical equipment shall be integrated into the building design and not appear as an after-thought. Creating large expanses of windows with a branded display wall in close proximity to the glass so that it is readily visible from the exterior is not permitted.

Figure 3.10: Four-Sided Architecture Example



e. *Materials and Colors.*

- i. *Exterior Materials:* façade-materials shall be high-quality, durable products such as brick, stone or decorative precast concrete. The primary building skin shall be a high-quality, aesthetically pleasing, durable material such as brick, natural stone, manufactured stone, especially at the base of the building that is susceptible to damage by maintenance equipment such as plows, shovels, mowers, etc.
- ii. *Primary Material:* The primary material shall constitute at least 65 percent of the total wall area for the front and side façades visible from Mountain Avenue and at least 50 percent for the rear façade; excluding the glazing area of the façade.
- iii. *Glazing:* Exterior glazing shall be high-performance clear glass (not tinted or reflective) with a low-E coating and visible light transmittance (Tvis) of 60 percent or higher. Use of opaque/spandrel glass to simulate ground-level vision windows is discouraged. Creating large expanses of windows with a branded display wall in close proximity to the glass so that it is readily visible from the exterior is not permitted.

- iv. *Secondary façade materials:* may include cement-based stucco, hardboard siding or decorative metal panels with concealed fasteners and low-gloss finish.

Figure 3.11: Façade Examples

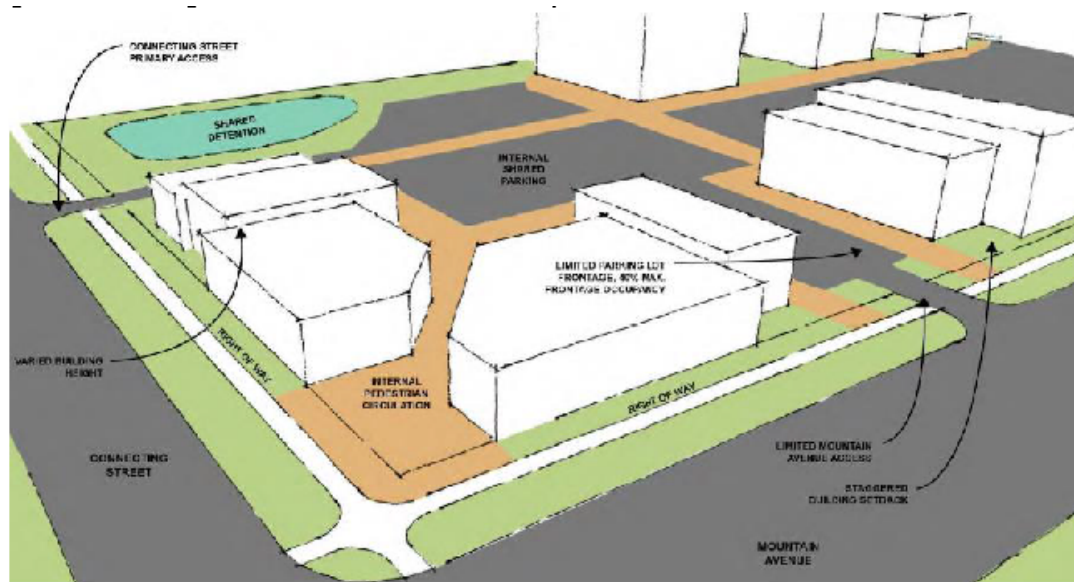


- v. *Screening elements:* such as site walls for parking lots and trash enclosures shall be of the same high-quality durable material as the primary building skin.
- vi. *Primary Façade Colors:* Primary building façade colors shall be non-reflective, muted neutral or earth tones with only small "pops" of bright, higher intensity colors. High-gloss, metallic finishes or fluorescent colors are not allowed.

3. *Parking:*

- a. *Parking:* On-street diagonal parking is proposed on Gateway Park Blvd within the proposed village center. To reduce its visual presence on Mountain Avenue, required parking shall be located behind and between buildings. Required parking areas shall not occupy more than 40 percent of the Mountain Avenue frontage and must not be forward of any building or structure. In addition, such parking areas shall be screened by a landscape hedge, wrought iron fence, or wall as detailed in Table 3.4.
- b. *Drive through Areas:* Restaurant and bank drive-through areas shall be oriented away from Mountain Avenue and shall only be accessed by a rear access drive, with no visible drive-through areas fronting Mountain Avenue, as described in Table 3.4.
- c. *Shared Parking:* New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

Figure 3.12: Parking and Pedestrian Circulation Examples



4. *Signage:*

Refer to the Sign Section in this Chapter for specific signage requirements.

Table 3.4 Berthoud West Character District Dimensional Standards

Mountain Avenue Development Criteria		
Description		Berthoud West
	Density and Lot Coverage	Per Underlying Zoning
A	Building Height ⁵	Maximum: 3 Stories (40 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line
Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	14 ft. min, 20 ft. max
D	Secondary or side street	20 ft. min ⁸
E	Side yard (3 stories)	10 ft. min
E	Side yard (2 Stories)	Per Underlying Zoning
E	Side yard (1 Story)	Per Underlying Zoning
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning
Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁹	20 ft min. or 5 ft greater than building setback, whichever is greater
I	Secondary or side street	20 ft. min
J	Side yard	5 ft. min 0 ft. if shared
K	Rear	5 ft. min 0 ft. if shared
	Max parking and driveway frontage ⁴	40% of lot frontage
Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	0 ft.
	Awnings	0 ft.
	Balconies	0 ft.

	Bay windows and building projections	0 ft.
	Building eaves	0 ft.
	Patio cover roof	0 ft.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a zero-foot setback.
2. A six-foot minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a ten-foot minimum vertical clearance above the sidewalk elevation or finished grade.
4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be three feet min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15 percent.
6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40 percent into the required setback.
7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
8. Zero-foot setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
9. Drive-through windows shall not be oriented towards Mountain Avenue and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.

B. *Residential Conversion District.* This district is characterized by charming older homes occupied by businesses and commercial uses. Majestic street trees create a seemingly continuous canopy over Mountain Avenue, and expanded green spaces surrounding the homes and detached walks with tree lawns create a walkable neighborhood.

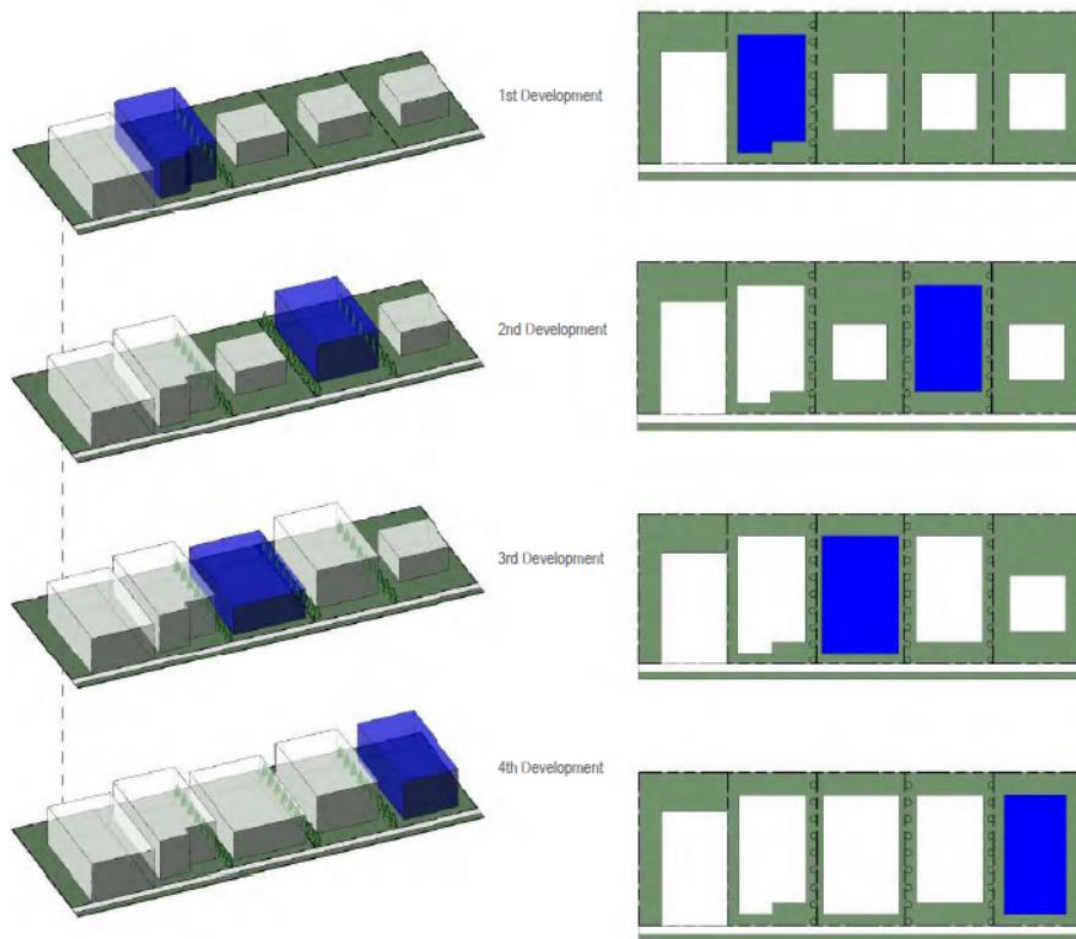
1. *District Extents:* The Residential Conversion character district extends along Mountain Avenue between 8th Street and 7th Street on the south side of Mountain Avenue. The Residential Conversion character district extends along Mountain Avenue between 8th Street and the western half of the block between 5th and 6th Streets. . Refer to the Mountain Avenue Overlay District map found in this Section.

2. *Preservation of Historic Homes and Context:*

- i. Additions should be located to the side and/or rear of the house and should be consistent with the scale of the original home. Side additions should be setback from the front face enough to allow the profile of the original structure to be clear and obvious.
- ii. When converting a single-family house to a new use, original location and character of the front porch/stoop shall be maintained.
- iii. Providing handicapped accessibility to existing historic homes that typically have elevated stoops and porches must maintain the integrity of the original historic structure.

-
3. *Building Setbacks:* Building setbacks within the Residential Conversion District will need to maintain a portion of the typically large front lawn space of original historic homes, while allowing for the transition to smaller front and side yard lot line necessary for newer developments. Building Setbacks must follow Figure 3.13 below.

Figure 3.13: Special Residential Conversion District Infill Setback Examples



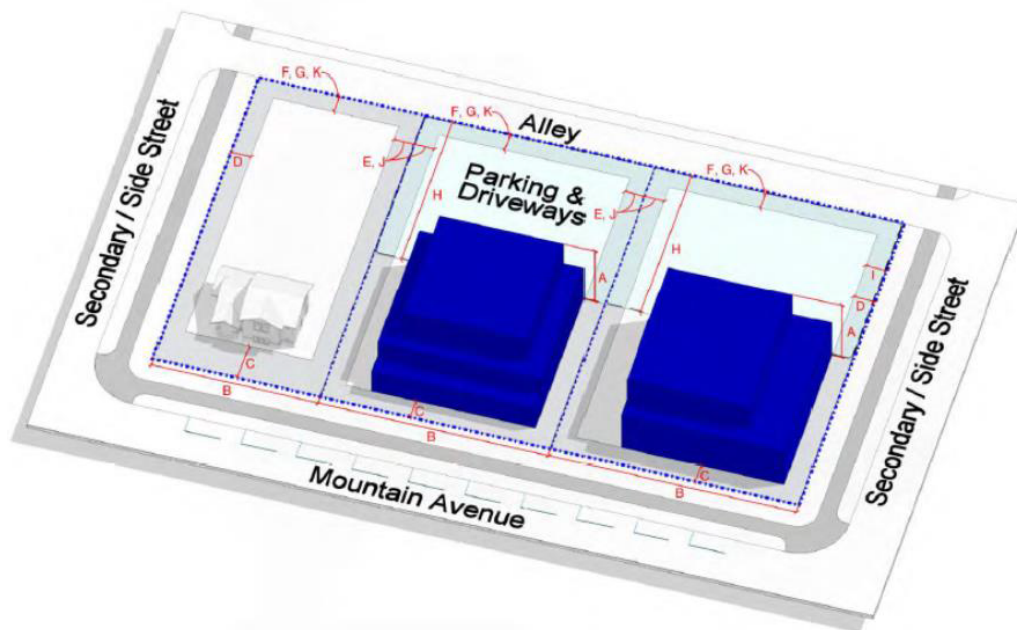
The diagram above shows the progression of new development adjacent to existing residential structures and how, over time, the block can infill with a higher density while respecting the residential character that currently exists.

-
4. *Architectural Guidelines For New Construction:*
- General proportions should be consistent with adjacent structures, including similar floor-to-floor heights and solid-to-void ratios.
 - Divide larger structures into smaller components that more closely mimic the traditional single-family home dimensions. These series of smaller components should not be more than 25 feet to 30 feet wide and be expressed in wall panel changes of at least eight feet; as well as material changes.
 - Although plate-lines/roofs on new construction will be taller, they should be consistent in form and character. This can be accomplished by blending predominately flat roof areas over larger

expanses with sloped roof elements at key accent locations such as entries and highly-visible corners.

- iv. Step down stories and rooflines from back to front and from side to side.
 - v. The diversity of architectural styles that currently exists shall be retained to the greatest extent possible.
 - vi. New buildings shall be oriented parallel to their lot lines with the primary entry integrated into a porch or portico design element facing Mountain Avenue.
5. *Parking:*
- a. *Parking:* Required parking shall be located behind and between buildings. Only 40 percent of required on-site parking may be allowed along Mountain Avenue frontage and shall not be forward of any building or structure. In addition, such parking areas shall be screened by a landscape hedge, wrought iron fence, or wall as detailed in Table 3.5.
 - b. *Drive-through Areas:* Restaurant and bank drive-through areas are not permitted.
 - c. *Shared Parking:* New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

Figure 3.14: Parking Location



6. *Signage:* The type, scale and style of signage should be designed to complement the residential character of this district.
- a. Building mounted, monument signs are preferred; pole signs are prohibited
 - c. See Section 7 Signs for additional signage requirements.

Table 3.5 Residential Conversion Character District Dimensional Standards

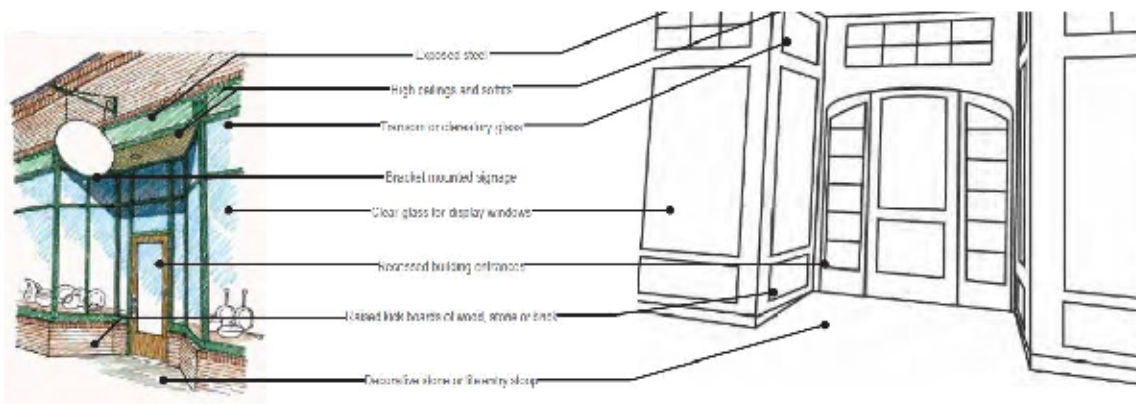
Mountain Avenue Development Criteria		
Description		Residential Conversion
Density and Lot Coverage		Per Underlying Zoning
A	Building Height ⁵	Maximum: 3 Stories (40 feet) Minimum: 2 Stories (20 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line
Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	10 ft. min, 20' max
D	Secondary or side street	10 ft min, 15 ft. max
E	Side yard (3 stories)	10' ft. min
E	Side yard (2 Stories)	5 ft. min
E	Side yard (1 Story)	5 ft. min
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning
Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁹	Behind building, accessed from alley where possible
I	Secondary or side street	5 ft. min
J	Side yard	0 ft. min
K	Rear	0 ft. min
	Max parking and driveway frontage ⁴	0%
Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	8 ft. max. ²
	Awnings	6 ft. max
	Balconies	4 ft. max ³
	Bay windows and building projections	2 ft. max
	Building eaves	2 ft. max
	Patio cover roof	2 ft. max.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a zero-foot setback.
2. A six-foot minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a ten-foot minimum vertical clearance above the sidewalk elevation or finished grade.
4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be three feet min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15 percent.

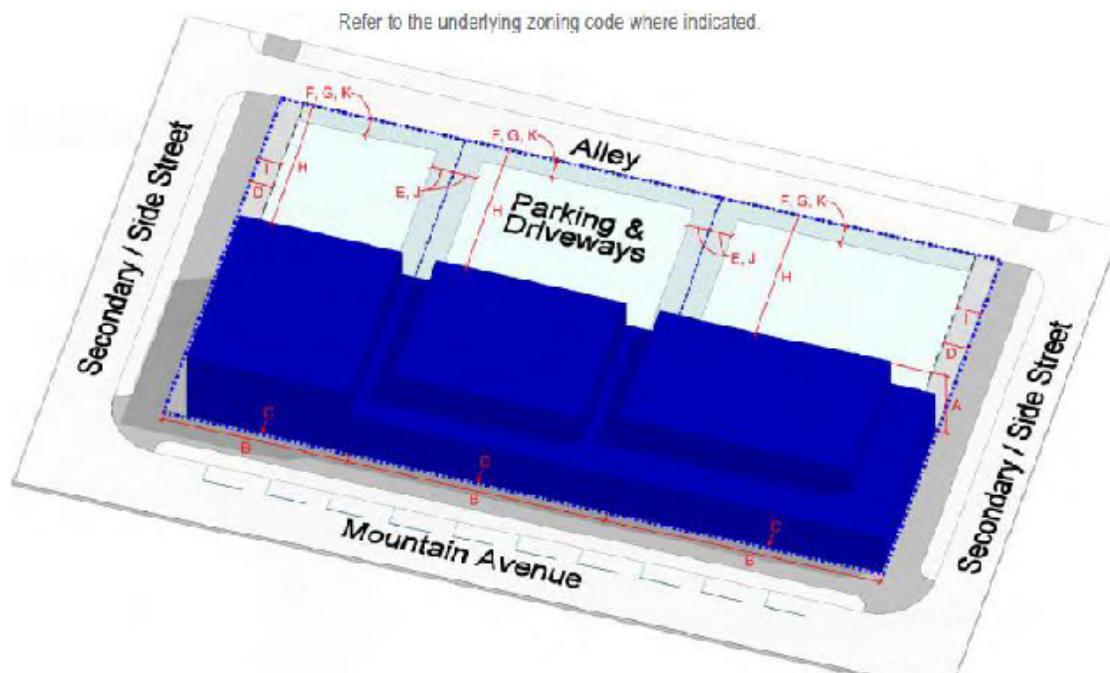
6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40 percent into the required setback.
 7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
 8. Zero-foot setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
 9. Drive-through windows shall not be oriented towards Mountain Avenue and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.
- C. **Downtown Commercial Character District.** Berthoud's Downtown District represents a concentration of character and personality, and shapes much of the Town's identity. Its buildings give a sense of history, its businesses and restaurants show the liveliness of the town, and its quirks set it apart from other towns in Northern Colorado.
1. **District Extent:** The Downtown Commercial character district extends along Mountain Avenue between 7th Street and 1st Street on the south side of Mountain Avenue and between the east half of the block between 5th and 6th Street to 1st Street on the north side of Mountain Avenue in the downtown area. Refer to the Mountain Avenue Overlay District map found in this Section
 2. **Architectural Guidelines:**
 - a. **Ground level storefronts:** Ground level retail storefronts are indicative of the mercantile economy of historic downtowns of the late 19th and early 20th centuries. They often feature formal, symmetrical façades, large expanses of display windows flush with the building front walls, recessed entrances and decorative glass transoms. Such storefronts should possess the following characteristics as depicted in Figure 3.156 and as described below:
 - i. Retail storefronts create an intimate, pedestrian scale along the street, encouraging residents to slow down, interact, and window shop.
 - ii. Primarily glazed, ground level storefronts create a distinction between the public retail façade and the more private areas of the upper levels, often expressed by individual punched window openings.
 - iii. The higher ceilings of historic, ground level retail storefronts have a character not often found in more modern construction.

Figure 3.15: Ground Level Storefront Example



-
- b. *Infill development/Design:* Communities are encouraging infill development of vacant downtown properties and redevelopment of inappropriate or underutilized buildings to revitalize their historic downtowns. Designed properly, new construction can blend seamlessly with original, historic buildings to create a vibrant downtown environment.
- i. Maintain natural materials and colors that often utilize local materials and represent the workmanship of local craftsmen. Modern metal siding and other industrial materials are inappropriate as primary façade materials in the historic downtown area.
 - ii. New infill development shall not mimic the exact historic designs and details of existing structures but pick up on the rhythm and spacing of elements to be compatible with and complementary to them.
 - iii. Orient building parallel to street and align front façade with established sidewalk edge.
 - iv. If a portion of the building must be set back, use traditional urban site features to maintain defined sidewalk edge noted above
 - v. Create a clearly defined front entry recessed at least three feet so out-swinging doors do not project into the perpendicular circulation path
 - vi. Predominate massing at the front property line should be one- or two-stories with setbacks for additional stories
 - vii. Floor-to-floor heights shall appear to be consistent with heights traditionally seen in older adjacent buildings
 - viii. Building Materials: Utilize similar high-quality, durable materials such as brick or stone with only accents of more modern materials
- c. *Building Awnings:* Awnings have been used for centuries to shade the façades and display windows of buildings and provide residents with protection from the elements. Awnings also provide a unifying design element to enhance the downtown streetscape and provide opportunities for colorful accents and signage.
- i. Awnings Encouraged: Awnings are encouraged on all development.
 - ii. Awnings should be consistent with primary building, and color should accent the primary building. On-Street Parking:
3. *Parking and Access:*
- a. On-site parking areas shall be located at the rear of any building as depicted on Figure 3.165.
 - b. Curb Cuts: No new curb cuts from Mountain Avenue shall be allowed.
 - c. Drive-through Areas: Restaurant and bank drive-through areas are not permitted.
 - d. Shared Parking: New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

Figure 3.16: Parking and Access Examples



4. *Signage:*

- a. In general, building mounted signs are recommended in this district. This includes wall mounted signs, window signs, and awning signs. The type, scale and style of the signage should be designed to complement the character of this district and the building that the sign is associated with.
- b. Sidewalk Signs: Please see Section 30-7-110
- c. Monument signs are prohibited in this district.
- d. See Section 7 Signs for additional signage requirements.

Table 3.6 Downtown Commercial Character District Dimensional Standards

Mountain Avenue Development Criteria		
Description		Downtown Commercial
	Density and Lot Coverage	Per Underlying Zoning
A	Building Height ⁵	Maximum: 3 Stories (40 feet) Minimum: 2 Stories (20 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line
Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	0 ft. min, 10 ft. max ¹
D	Secondary or side street	0 ft. min, 10 ft. max ¹
E	Side yard (3 Stories)	0 ft.
E	Side yard (2 Stories)	0 ft.
E	Side yard (1 Story)	0 ft.
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning
Off-Street Parking and Driveway Setbacks		

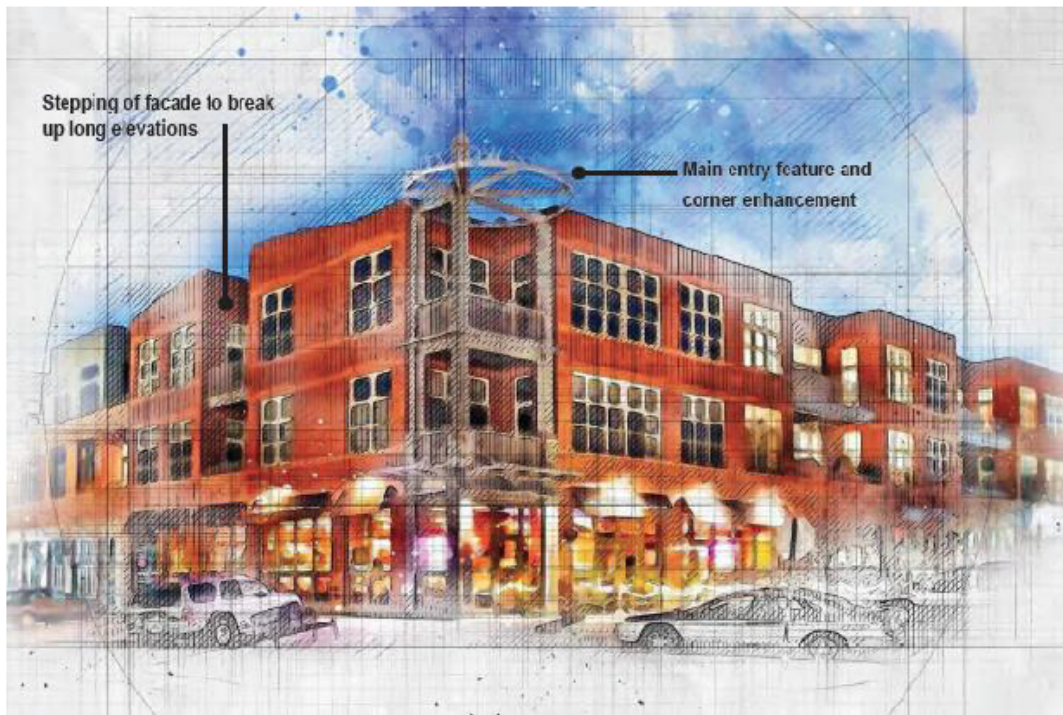
H	Mountain Ave / Highway 56 ⁹	Behind building, not accessed from Mountain Avenue
I	Secondary or side street	5 ft. min
J	Side yard	0 ft. min
K	Rear	0 ft. min
	Max parking and driveway frontage ⁴	0%
Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	8 ft. max ²
	Awnings	6 ft. max
	Balconies	4 ft. max ³
	Bay windows and building projections	2 ft. max
	Building eaves	2 ft. max
	Patio cover roof	2 ft. max.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a zero-foot setback.
 2. A six-foot minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
 3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a ten-foot minimum vertical clearance above the sidewalk elevation or finished grade.
 4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be three feet min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
 5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15 percent.
 6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40 percent into the required setback.
 7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
 8. Zero-foot setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
 9. Drive-through windows shall not be oriented towards Mountain Avenue and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.
- D. *Berthoud East Character District.* A transition district from the rural agrarian areas to the downtown core. The undeveloped land on the south side of Hwy 56 is envisioned as a vibrant walkable residential district with a mixed-use area near the intersection of County Line Road 1 providing opportunities for shopping, dining, employment and other services. Appropriate land use, scale and density transitions from existing residential neighborhoods are critical.
1. *District Extents:* The parcels that are located within this district are found on the Mountain Avenue Overlay District map found in this Section. Generally, the boundary is described as from 1st Street to County Line Road 1 on the north side of Mountain Avenue/ State Highway 56 and from 1st Street to one – half mile east of County Line Road on the south side of Mountain Avenue/ State Highway 56.
 2. *Architectural Guidelines for Berthoud East District:* Similar to the Berthoud West District, the "East District" focuses on building massing and articulation, and to carefully balance economic interests with the public good by ensuring strong pedestrian and bicycle connectivity with the downtown and residential districts to the west.
 - a. *Scale and Density Focus.*

- i. Multi-story, mixed use buildings will be encouraged in the denser mixed-use areas immediately adjacent to Mountain Avenue and then taper off in height, size and intensity of use as development extends further away from the overlay district.
- ii. Long façades shall be broken down into smaller architectural expression through stepping. Stepping can be accomplished in both building elevation and in plan. Third story step-backs provide a gradual scale transition between building heights and opportunities for rooftop patio space.

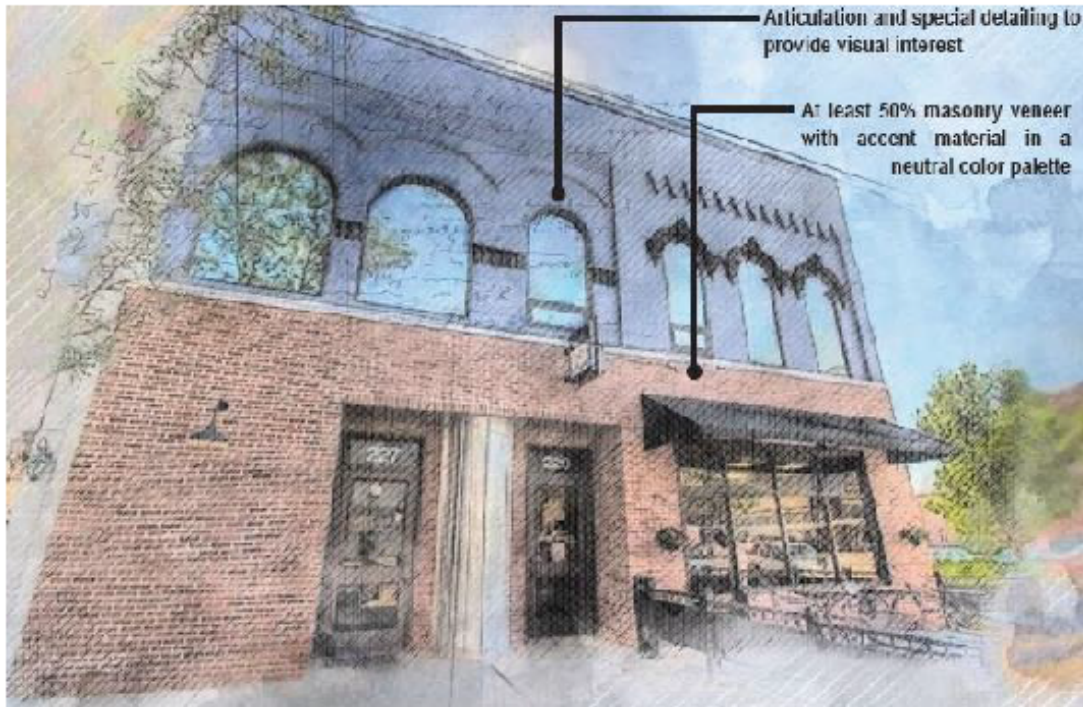
Figure 3.17: Stepping Examples



- b. *Building Materiality.* Buildings are meant to convey a sense of permanence and vitality with the use of appropriate materials reinforcing this goal. Materials should be predominantly brick, stone and architectural concrete with accents of wood, stucco or metal wall panels. Variation in materiality is encouraged but should be limited to a maximum of four materiality changes over the total building façade.
 - i. Recommended percentage of material variation is as follows:
50 percent to 60 percent — Masonry veneer (brick or stone), architectural concrete
 - ii. Up to three accent materials required:
 - 15 percent to 20 percent — Accent material 'A' (wood, stucco or metal wall panel)
 - 15 percent to 20 percent — Accent material 'B' (wood, stucco or metal wall panel)
 - 15 percent to 20 percent — Accent material 'C' (wood, stucco or metal wall panel)
 - iii. Articulation and special detailing that provides visual interest and breaks up large expanses of a single building material is supported.

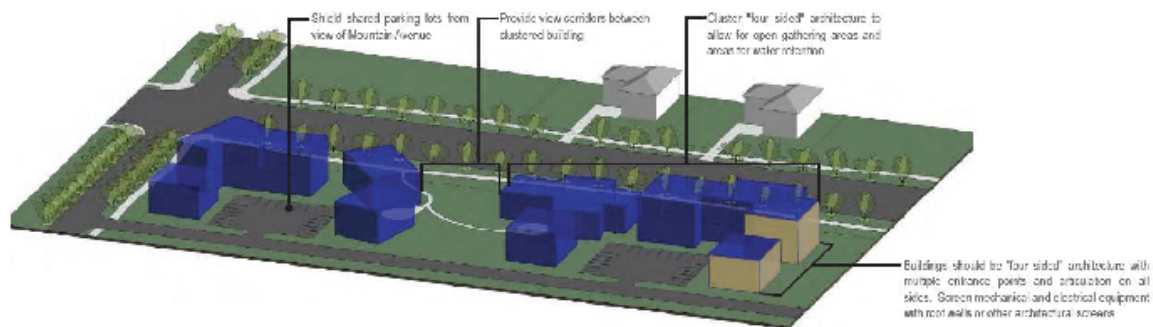
- iv. Color: Color palettes should be primarily of neutral tones with pops of accent color. Accent color and location are to be reviewed and approved with the Site Plan approval process.

Figure 3.18: Materiality Examples



- c. *Balancing Developed Spaces:* Shaping multiple buildings into dense clusters of development, formed around pedestrian and bicycle pathways while leaving reasonable expanses of open areas, will provide view corridors from Mountain Avenue and allow space for water retention.
 - i. Buildings shall define a strong street edge with upper floor step back and architectural embellishments at corners and main entry features.
 - ii. Buildings shall be oriented on front edge of setback to Mountain Avenue to allow parking in the rear. This provides for a more aesthetic streetscape by screening parking from Mountain Avenue.
 - iii. Provide "four-sided" architecture with multiple entrance points or articulation and mechanical and electrical equipment screening. All mechanical equipment is to be screened from views from across the street and/or middle of intersections or adjacent properties, whichever is further.

Figure 3.19: Four Sided Architecture



d. *Materials and Colors.*

- i. Exterior façade materials shall be high-quality, durable products such as brick, stone or decorative precast concrete.
- ii. The primary building façade shall be of high-quality durable materials such as brick/stone veneer or decorative precast concrete, especially at the base of the building that is susceptible to damage by maintenance equipment such as plows, shovels, mowers, etc.
- iii. The primary material shall constitute at least 70 percent of the total wall area for the front and side façades visible from Mountain Avenue and at least 50 percent for the rear façade; excluding glass.
- iv. Exterior glazing shall be high-performance clear glass (not tinted or reflective) with a low-E coating and visible light transmittance (Tvis) of 60 percent or higher. Use of opaque/spandrel glass to simulate ground-level vision windows is discouraged. Creating large expanses of windows with a branded display wall in close proximity to the glass so that it is readily visible from the exterior is not permitted.
- v. Secondary façade materials can include cement-based stucco, hardboard siding or decorative metal panels with concealed fasteners.
- vi. Screening elements such as site walls for parking lots and trash enclosures shall be of the same high-quality durable material as the primary building skin.
- vii. Primary building façade colors shall be non-reflective, muted neutral or earth tones with only small "pops" of bright, higher intensity colors. Metallic or fluorescent colors are not allowed.

3. *Parking:*

- a. *Parking:* Required parking shall be located behind and between buildings. Only 40 percent of required on-site parking may be allowed along Mountain Avenue frontage and shall not be forward of any building or structure. In addition, such parking areas shall be screened by a landscape hedge, wrought iron fence, or wall as detailed in Table 3.5.
- b. *Drive-through Areas:* Restaurant and bankdrive through areas are not permitted.
- c. *Shared Parking:* New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

-
4. *Signage:*
 - a. Building mounted signs and ground mounted monument signs with horizontal massing are preferred.
 - b. See Section 7 Signs for additional signage requirements.
 - E. *Agricultural Character District.* Farms, big skies, distant views, and scattered farmsteads provide a pleasant separation between Interstate 25 and the Town which adds to Berthoud's small-town appeal. The primary goal of this district is to retain the rural and agrarian character and to protect the iconic views to the Rocky Mountains.
 1. *District Extents:* The Agriculture Character District extents vary on the north and south frontages. Refer to the Mountain Avenue Overlay District map found in this Section. In general, the District extends from County Line Road 1 to one-half mile west of Interstate 25 on the north side of Mountain Avenue/ Highway 56 and one-half mile east of County Line Road 1 to one-half mile west of Interstate 25 on the south side of Highway 56.
 2. *Agricultural Character District Architectural Guidelines:* The architectural style of this area is of an agricultural or farmstead nature. It is recommended that all new development compliment this agricultural/farmstead nature.
 - a. Building materials should be of residential grade and include cement-based stucco, hardboard siding, brick, stone, or decorative metal panels with concealed fasteners.
 - b. Roof lines should be of gable end, hip, and valley styles, with dormers, and shed roofs. Clay and concrete tiles are not encouraged.
 - c. Primary Building Façade Colors shall be non-reflective, muted neutral or earth tones, with limited accent colors. Metallic or fluorescent colors are prohibited.

Figure 3.20: Examples of Agricultural Style Development



3. *Signage:*
 - a. Building mounted signs and ground mounted monument signs with horizontal massing are preferred.
 - b. Please see Section 7 Signs for additional signage requirements.

Figure 3.21: Agricultural Character Setback Graphic

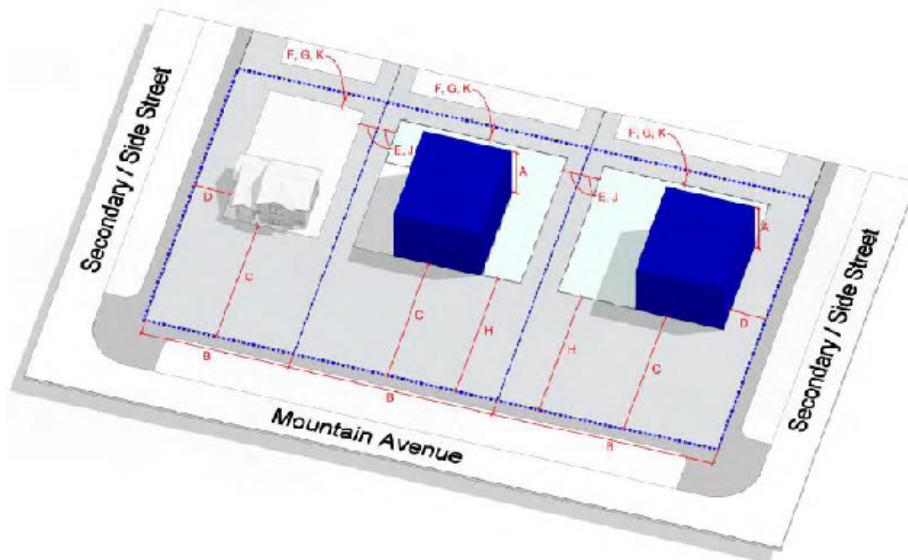


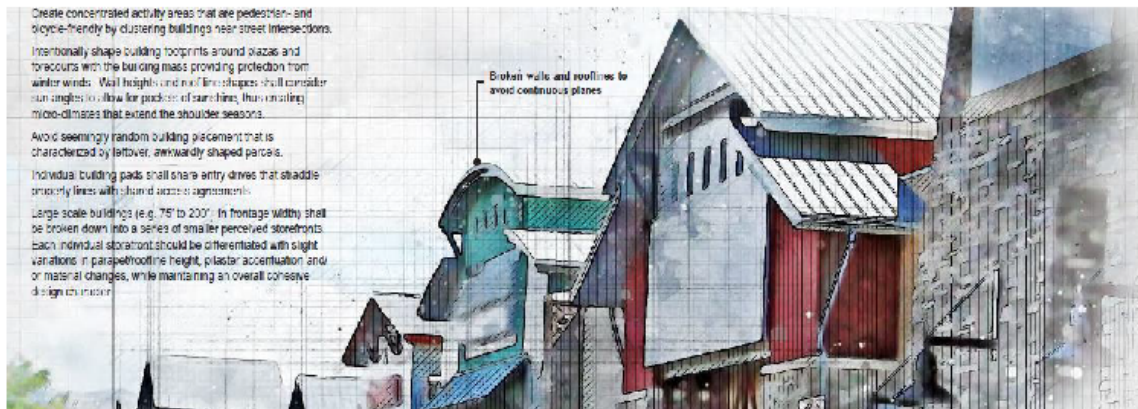
Table. 3.7 Agricultural Character District Dimensional Standards

Mountain Avenue Development Criteria		
Description		Agriculture
	Density and Lot Coverage	Per Underlying Zoning
A	Building Height ⁵	Maximum: 2 Stories (35 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line
Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	80 ft. min
D	Secondary or side street	20 ft. min
E	Side yard (3 Stories)	NA
E	Side yard (2 Stories)	Per Underlying Zoning
E	Side yard (1 Story)	Per Underlying Zoning
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning
Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁹	80 ft. min
I	Secondary or side street	
J	Side yard	5 ft. min, 0 ft. if shared
K	Rear	5 ft. min, 0 ft. if shared
	Max parking and driveway frontage ⁴	40% lot frontage
Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	0 ft.
	Awnings	0 ft.
	Balconies	0 ft.
	Bay windows and building projections	0 ft.
	Building eaves	0 ft.
	Patio cover roof	0 ft.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a zero-foot setback.
 2. A six-foot minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
 3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a ten-foot minimum vertical clearance above the sidewalk elevation or finished grade.
 4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be three feet min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
 5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15 percent.
 6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40 percent into the required setback.
 7. Front setbacks abutting Mountain Avenue/Hwy 56 shall be measured from the edge of the ROW.
 8. Zero-foot setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
 9. Drive-through windows shall not be oriented towards Mountain Avenue, and shall be located only at the rear of the building, and not fronting Mountain Avenue/Hwy 56.
- F. *New Berthoud Character District.* New Berthoud straddles the I-25/Hwy 56 interchange and is the gateway into Town. The lasting impression should relate to "Berthoud Proper" and offer a fresh new twist.
1. *District Extent:* The New Berthoud Character District extends one-half mile west of Interstate 25 to County Road 11. Refer to the Mountain Avenue Overlay District map found in this Section
 2. *Architectural Guidelines for New Berthoud District:* Expansive master planned developments are anticipated in the New Berthoud District with large scale retail/lifestyle uses near the I-25/Mountain Avenue interchange, then transitioning to mixed-use and residential developments further away.
 - a. *Massing and Form.*
 - i. The configuration and massing of these large buildings should give the appearance of individual buildings in the manner of traditional town centers.
 - ii. Wall and rooflines should be broken to avoid continuous planes, giving the appearance of individual buildings being built over an extended period of time but with a consistent architectural vocabulary.
 - iii. Pedestrian approaches should be well-defined with large overhangs or dynamic canopy elements provided for weather protection.
 - iv. Buildings should be clustered near street intersections to create concentrated activity areas that are pedestrian- and bicycle-friendly.
 - v. Building footprints around plazas and forecourts with the building mass providing protection from winter winds. Wall heights and roofline shapes shall consider sun angles to allow for pockets of sunshine, thus creating micro-climates that extend the shoulder seasons.

Figure 3.22: Massing New Berthoud Character District



b. *Massing and Form for Buildings over 75 feet in length.*

- i. Individual building pads shall share entry drives that straddle property lines with shared access agreements.
- ii. Large scale buildings (e.g. 75 feet to 200 feet or more in frontage width) shall be broken down into a series of smaller perceived storefronts. Each individual storefront should be differentiated with slight variations in parapet/roofline height, pilaster accentuation and/or material changes, while maintaining an overall cohesive design character.
- iii. Large scale buildings (e.g. 75 feet to 200 feet or more in frontage width) shall be designed to have scale-defining elements that reduce the perceived size.
- iv. Provide cornice details that terminate in the main field wall while more prominent overhangs cap the defining architectural wall elements.
- v. Provide transom windows to direct natural light deeper into space.
- vi. Pedestrian-scale canopy elements are encouraged to provide shelter from adverse weather conditions, while defining the break between the base and the body of the building.
- vii. First floor storefront base with large expanses of vertically oriented glass (more than 50 percent of façade area) are encouraged for commercial development.

Figure 3.23: Massing for Buildings 75' in width or larger



3. *Parking:*

- a. *Parking:* On-street diagonal parking is proposed on Gateway Park Blvd within the proposed village center. To reduce its visual presence on Mountain Avenue, required parking shall be located behind and between buildings. Required parking areas shall not occupy more than 40 percent of the Mountain Avenue frontage and must not be forward of any building or structure. In addition, such parking areas shall be screened by a landscape hedge, wrought iron fence, or wall as detailed in Table 3.4.
- b. *Drive-through Areas:* Restaurant and bank drive-through areas shall be oriented away from Mountain Avenue and shall only be accessed by a rear access drive, with no visible drive-through areas fronting Mountain Avenue, as described in Table 3.4.
- c. *Shared Parking:* New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

4. *Signage:*

- a. Building mounted signs and ground mounted monument signs with horizontal massing are preferred.
- b. See Section 7 Signs for additional signage requirements.

Table 6.8 New Berthoud Character District Dimensional Standards

Mountain Avenue Development Criteria		
Description		New Berthoud
	Density and Lot Coverage	Per Underlying Zoning
A	Building Height ⁵	Maximum: 3 Stories (40 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line
Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	80 ft. min
D	Secondary or side street	20 ft. min
E	Side yard (3 Stories)	Per Underlying Zoning
E	Side yard (2 Stories)	Per Underlying Zoning
E	Side yard (1 Story)	Per Underlying Zoning
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning
Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁹	80 ft. min
I	Secondary or side street	
J	Side yard	5 ft. min, 0 ft. if shared
K	Rear	5 ft. min, 0 ft. if shared
	Max parking and driveway frontage ⁴	40% lot frontage
Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	0 ft.
	Awnings	0 ft.
	Balconies	0 ft.
	Bay windows and building projections	0 ft.
	Building eaves	0 ft.
	Patio cover roof	0 ft.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a zero-foot setback.
2. A six-foot minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
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4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be three feet min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15 percent.
6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40 percent into the required setback.
7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
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9. Drive-through windows shall not be oriented towards Mountain Avenue and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.

Prairie Mountain Media, LLC

PUBLISHER'S AFFIDAVIT

**County of Larimer
State of Colorado**

TOWN OF BERTHOUD, COLORADO

**NOTICE OF PUBLIC HEARING
Amendments to the Berthoud Development Code**

PUBLIC NOTICE IS HEREBY GIVEN of public hearings before the Planning Commission on August 14, 2025 at 6 p.m. and the Town Board on September 23, 2025 at 6:30 p.m. The Town Trustees will hear an introduction of the proposed amendment on September 9, 2025 at 6:30 p.m. All meetings and public hearings will be to consider amendments to Chapter 30 of the Berthoud Municipal Code inclusive of the character district designation for the Mountain Avenue Overlay Section. The public hearings will be held at Town Hall 807 Mountain Avenue in Berthoud 80513.

Given and posted on this ____ day of July, 2025.

Published: Loveland Reporter Herald July 26, 2025 - 2125888

The undersigned, Agent, being first duly sworn under oath, states and affirms as follows:

1. He/she is the legal Advertising Reviewer of Prairie Mountain Media LLC, publisher of the *Loveland Reporter Herald*.
2. The *Loveland Reporter Herald* is a newspaper of general circulation that has been published continuously and without interruption for at least fifty-two weeks in Larimer County and meets the legal requisites for a legal newspaper under Colo. Rev. Stat. 24-70-103.
3. The notice that is attached hereto is a true copy, published in the *Loveland Reporter Herald* in Larimer County on the following date(s):

Jul 26, 2025

Melissa Najera
Signature

Subscribed and sworn to me before me this

28th day of July, 2025

Shayla Najera
Notary Public

(SEAL)

**SHAYLA NAJERA
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20174031965
MY COMMISSION EXPIRES July 31, 2025**

Account: 1051549
Ad Number: 2125888
Fee: \$17.40

PLANNING COMMISSION INFORMATION

COMMUNITY DEVELOPMENT DEPARTMENT



Meeting Date:	August 14, 2025
Agenda Title/Subject:	Summary of engagement activities and forecast to Land Development Code updates
Type of Item:	Presentation
Purpose:	Review engagement activities directing modifications to the Land Development Code and summarizing the modifications to be presented at a future public hearing
Presented by:	Anne Johnson, Community Development Director

ATTACHMENTS:

There are no attachments.

BACKGROUND:

Staff will often present materials provided to the Town Board to the Planning Commission as an information-sharing effort. The following information was provided to the Town Trustees on July 29, 2025 as an overview of upcoming Land Use Code revision. The content of this memo is informational.

During its retreat in 2024, the Board of Trustees identified economic development as a priority. The Board expressed interest in having a better understanding of the work the Business Development Department does to retain and attract additional businesses to Berthoud. The Town provided insight from the Business Development Department by Manager, Walt Elish along with representatives from the business development community in Northern Colorado. Rich Werner, President and CEO of Upstate Colorado and Ryan Schaefer, CEO of NAI Infinity shared their expertise with the Trustees.

Upstate and NAI Infinity shared an overview of what developers and business leads are looking for when they consider moving into a new community. Two supporting functions of economic development include a close tie with the functions of the Community Development Department as well as the management of the public hearing process via strategic leadership. An excerpt from the presentation is below.

MOST IMPORTANT ROLE OF LOCAL GOVERNMENT

- | | |
|--|-------|
| 1. Provide quality services and amenities | 35.9% |
| 2. Provide strategic leadership/facilitation | 31.8% |
| 3. Create a positive business climate | 24.9% |
| 4. Offer incentives to companies | 4.6% |

n = 217

Source: Jonathan Q. Morgan, *The Role of Local Government in Economic Development : Survey Findings from North Carolina*, UNC School of Government.

Town's current land use development process, as well as a review of the Town Code and Master Plans. The presentation from this particular work session held on December 3, 2024 is attached as a summary of the content presented.

Staff provided an overview of the land development review process inclusive of the following:

- Why communities plan and a brief overview of the planning practice;
- The intent of the vision, goals, strategies and character districts outlined in the 2019 Comprehensive Plan update;
- An overview of the master plans which are referred to in the development review process;
- The process for all land use development activities;
- The anatomy of a staff report inclusive of findings and recommendations;
- The importance of adhering to the Criteria for Approval of the different land use applications;
- Mapping illustrating the Town's current urban growth boundary was shared along with the existing incorporated limits and pending applications.

Key take-aways from the December 3, 2024 Work Session included an understanding that Community Development staff are stewards tasked with upholding the land use planning process in a consistent and transparent manner for all developers. There are opportunities to balance throughout the review process and material requirements, and these balancing efforts are done with an eye to support the standards and guidelines outlined in the Land Development Code while maintaining fairness and equal treatment of each applicant. The Land Use Code will be reviewed in 2025 to ensure the processes and requirements are clear and that the various master plans are reflected.

While the Work Session focused on Staff's role in adhering to process, the role of the Trustees and Planning Commission Members were addressed when discussing the importance of ensuring a consistent process through transparent development review. Ryan Schaeffer provided a follow-up video to his October presentation regarding the importance of transparency and equity in the development review process. This video is included with this packet of materials.

Three requests of staff were made at the December 3, 2024 Work Session. These requests were completed in early 2025. The first was to develop and publish a survey regarding development in general with a focus on determining components of what "Small Town Charm" means to members of the Board. The results of the survey are attached with key take-aways summarized below.

- "Small Town Feel" can be seen/felt by requiring a compact downtown with walkable streets and locally-owned shops and cafes as well as tree-lined streets with historic homes and well-maintained sidewalks.
- Values of the Town's historic development most valued included the unique character of downtown; the rural environment surrounding the Town; and the availability of parks, trails and access to nature.
- The respondents indicated that the Town should be extremely proactive in influencing development with the Town taking the lead to attract certain types of development. In addition, respondents nearly unanimously agreed staff should act as a facilitator and partner with developers to encourage projects that align with the Town's vision and goals.
- The majority of respondents indicated that growth should be a balanced collaboration between the Board, Planning Commission, staff, citizens and developers and that each land use application should be evaluated on its own merits.
- There were two main indicators of success when it comes to evaluating community health: availability and ease of access to public parks and green spaces; and ease of access to restaurants, entertainment and shopping.

The second request to staff included holding a virtual tour of residential and commercial developments throughout the Country. This virtual tour was held on January 21, 2025. A summary of the virtual tour is included as an attachment with key take-aways listed below.

- Commercial
 - o Design including facades, landscaping and signage is more important for commercial development than the use is, as long as the use is permitted.
 - o Infill in the commercial districts is important and fitting in with the historic context is important. "Quirkiness" is ok in Berthoud too.

- o Creating a destination of downtown is important.
- o Do not create false history or a “theme.”
- o Activate the human experience with transparent windows and lighting
- Residential
 - o Encourage a greater mix in housing types
 - Courtyard housing
 - Single-lane driveways with garages set back
 - Architectural diversity
 - Uniform landscaping, fencing is good
 - o Mixed use in the downtown is palatable for consideration

The third request to staff included walking/driving tours of downtown Berthoud. Staff and Mayor Karspeck determined that an understanding of the survey results regarding the Town’s identity was important to know as the Town heads into a community-wide branding analysis. Tours of the Mountain Avenue Overlay district and Downtown were held with staff and one or two members of the Board of Trustees. The goal of these tours was to discuss what “Small Town Charm” means to the Trustees as well as to look for opportunities within the Downtown District.

Staff provided a summary of findings to the Town Board of Trustees on March 11, 2025. At that meeting, staff provided a list of items to be considered for inclusion in the proposed amendments to the Land Development Code in 2025. The Land Development Code is being reviewed to ensure transparency, equity, consistency as well as options to streamline and minimize requirements for redevelopment activities.

UPDATE/NEXT STEPS

Edits to the Land Development Code will be presented this fall to ensure an equitable and consistent land development review process with clear expectations. Changes are being considered which streamline the processes and establish clear expectations for the development community.

Town Trustees provided guidance on the upcoming changes to the Land Use Code described below:

- Administrative Final Plat. The Preliminary Plat contains engineering documents at an 80% completion level. A consideration is an administrative Final Plat. This consideration would only be made if the developer increases neighborhood identity features and architectural diversity standards. The Final Plat is a technical exercise and State Statute requires review of a subdivision Plat which review at the Preliminary Plat phase will qualify for adherence.
- Town-wide consistency and branding.
 - o Street lamps
 - o Monument sign and landscaping at each subdivision entrance
 - o Flowers in pots downtown and throughout the community
 - o Revisit landscape design guidelines regarding tree lawns and reduce rock mulch
- Perpetual Open Space
 - o Feathering density to sensitive areas or open space areas
 - o 150’ setback from environmentally sensitive areas, lakes, etc.
- Architectural diversity
 - o Increase variety of housing styles across all subdivisions. Urban Residential zone district may be increased above the standard. Mix of styles on one block with unifying elements matching the “theme” of the neighborhood.
 - o Echo the Town’s history in unifying neighborhood elements
- Lot diversity within a block is good – a 25’ lot next to 75’ lot next to 50’ lot (width)
- Descriptive words

- o Quaint, quintessential, quirky
- o “Charm” is an undefined ideal
- o Create a feeling of belonging/arrival/sense of place

RECOMMENDED ACTION(S)

No action is required. Staff will be revising the Land Development Code in 2025 to reflect the findings from the 2024 and 2025 input received.