



Town of Berthoud
807 Mountain Avenue
Berthoud, CO 80513
970.532.2643

TOWN OF BERTHOUD PLANNING COMMISSION

TOWN HALL

807 Mountain Avenue

THURSDAY, November 14, 2019

7:00 P.M.

1. Call to Order

2. Roll Call

Jan Dowker, Chairwoman
Sean Murphy
Patrick Dillon
Danielle Trotta

Jeff Butler, Vice Chair
Kelsey Byron, Secretary
Matt Rood

All matters listed under Item 3, Consent Agenda, are considered to be routine by the Planning Commission and will be enacted with a single vote. If discussion is deemed necessary on an item, that item should be removed from the consent Agenda and considered separately.

3. Approval of Minutes of the October 10th, 2019 Planning Commission Meeting

4. Public Hearing: Development Code Changes: Mountain Avenue Corridor Overlay District, and Zoning Use Changes

5. Discussion of Future PC Meeting Times

6. Reports.

7. Adjourn.

If you require a special accommodation, please contact the Town Clerk 24 hours in advance at (970) 532-2643.

1. **Call to Order** – The Planning Commission convened a regular meeting on October 10, 2019. Chairman Dowker called the meeting to order at 7:04 p.m.
2. **Roll Call** – Members present: Jan Dowker Chairman, Jeff Butler, Patrick Dillon, Sean Murphy, Matt Rood and Danielle Trotta.
Members absent: Kelsey Byron
Staff present: Curt Freese and Pam Gehringer.
3. **Consent Agenda** – Minutes from meeting of August 22, 2019. Motion to approve by Commissioner Butler. Seconded by Commissioner Murphy. With all other commissioners in favor, THE MOTION CARRIED.
4. **Public Hearing Hammond Fifth Filing Preliminary Plat-**
Mr. Freese presented the agenda item, which was a request for Preliminary Plat approval for a 33.21 acre development comprised of 31 total dwelling units located west of Berthoud Parkway, east of Hwy 287 and South of 10E. Mr. Freese explained the Preliminary Plat process for the new committee members and put forth that it meets all the conditions for approval. States there may still be on/off ramp, no lots are platted in that area, it constitutes a loss of 3 lots.

Commissioner Butler requested clarification on references in the documents that indicate the extension of Timberline and Nicholson. Mr Hammond clarified from the audience that Timberline was unnamed on previous documents. This was further clarified later by Kristin from TB Group.

Kristin Turner, TB Group represented the owner Lynn Hammond. She showed a map for orientation, described the property and boundaries, explained the stub outs, and indicated they were still working with CDOT regarding the on/off ramps. She spoke regarding the tree lawns, landscaping and described trails and connectivity. Wood cedar fencing would also be erected going forward. Ms. Turner remarked that the project was well within compliance of development code.

Attorney Roger Clark from Loveland introduced himself as representing Mr. Hammond and owner partners to the South. He then introduced Mr. Lynn Hammond who gave a brief history regarding his acquisition and ownership of the property.

Commissioner Butler asked Mr. Hammond if the 5 acres to the South were platted?

Mr. Hammond replied Yes they were approved in 1977. He went on to talk about the 4 water taps on the property and that Little Thompson Water District would not allow for them to be moved.

Mr. Freese stated that if annexed, there is an IGA in place and that the town would be required to waive right to serve with that annexation.

Chairman Dowker opened the public hearing at 7:48 pm.

Resident Lisa Dereszynski, 2153 Tabor Street spoke about the fact that her neighbor was told by the builder when she purchased her home a year ago that there would be no development. Now concerned about townhomes and their effect on property values.

Resident Sharon Wertepney, 2163 Tabor spoke about the fact she was told this property would not be developed for at least 10 years by her builder. She was concerned about the commercial development along with the on/off ramps and their intended use.

Mr. Freese indicated the on/off ramp was currently off the table but leaving the space for potential in the future. As far as future development of the 20 acres to the South, it could have been higher density, but was mitigated by the town. No gas stations, or big box stores would be allowed but walkable things such as hotels, coffee shops, gas stations could be.

Chairman Dowker closed the public hearing at 7:55 pm.

Commissioner Butler empathized with the residents regarding the incorrect information they were given by their builder. He indicated this current proposal is much less dense than originally proposed and that the town has done an excellent job mitigating that.

Mr. Freese referenced an email from resident Randall Howard as the only other public comment that was received.

Commissioner Dillon commented he likes this project, but in the future hopes there can be more product diversity, commercial and townhomes.

Commissioner Murphy indicated he appreciates the North and South working together for resolution. He stated that he would also like to see more product diversity in the future. He made reference to sight lines and view corridors. He inquired if drainage easement issues on the South have been resolved.

Mr. Freese indicated drainage is being resolved and will be by Final Plat.

Chairman Dowker indicated she took a driving tour of the existing homes in the area and was very appreciative of the connectivity and usability of the neighborhoods. She stated that it is a beautiful neighborhood and looks forward to the South being built as well. She thanked the developers for doing such a nice job and complying with new code updates.

Commissioner Butler asked if this project is included with the current Metro District.

Ms. Turner replied yes.

Commissioner Butler then asked what Tract F to the east was?

Mr. Freese replied it is the former emergency access dedication, which will be removed and deeded back to the developer.

Commissioner Butler asked for a more detailed breakdown in the labeling of the park space.

Ms. Turner replied that in the landscape plans all the turf is quantified, and was a combination of detention and open space. She stated that more detailed percentages will be indicated in the future. She also mentioned that it will all be in the final landscape plan and that the calculations indicate they are over minimum requirements.

MOTION by Commissioner Butler to approve Hammond 5th Filing Final Plat as it satisfies the conditions of Section 30-6-107 and the Comprehensive Plan with the addition of:

- **The applicant will extend Nicholson Street and Timberline Drive to Old County Road 10E with curb, gutter and asphalt surface.**
- **The applicant will construct the connection between the two access streets along old County Road 10E with a road satisfactory to the Town and Fire District.**
- **The applicant will extend the two existing cul de sacs on Old County Road 10E from Nicholson and Timberline with a road standard satisfactory to the Town and Fire District for access to properties South of Old CR 10E. The access shall be noted and shown on the Final Plat as easement access for ingress and egress or as a private road.**

Seconded by Commissioner Murphy.

All in favor with exception of Commissioner Dillon, THE MOTION CARRIED.

Reports

Mr. Freese stated that there is nothing scheduled for October 24th meeting but the first meeting in November is scheduled to occur. Mr. Freese asked if the Commissioners are still interested in touring some neighboring towns to observe high density products. Commissioner Dowker suggested an email or Doodle poll to gain levels of interest and availability. Commissioner Rood had some questions regarding density and how it works and Mr. Freese gave a brief explanation. Mr. Freese reported that we have selected a consulting firm for the new Comprehensive Plan. The entire process is expected to take about a year and a half and there will be several public hearings and a steering committee.

Commissioner Butler inquired about the Mountain Avenue Overlay plan and the signage proposal which was not received favorably by the commissioners and asked if it is being addressed?

Mr. Freese indicated it is being addressed, as it is all linked to entryway signage. This will be coming before the PC again in a month.

Commissioner Butler then commented that the Chamber of Commerce puts on an event "Experience Berthoud" and recommended it to all.

Meeting adjourned at 8:19

Kelsey Byron, Secretary

Pam Gehringer, Planning and Building Technician



TO: Planning Commission
FROM: Curt Freese, Community Development Director

PLANNING COMMISSION INFORMATION SHEET

MEETING DATE: November 14, 2019

ITEM: Mountain Avenue Overlay District

BACKGROUND:

On September 11, the Town Board unanimously approved the Mountain Avenue Overlay Plan, after the August 22nd recommendation from the Planning Commission. The Board also accepted the Planning Commission's recommendation to reimagine the wayfinding and gateway signage. To refresh, BHA Design and Alms2S architects, devised the Mountain Avenue Overlay Master Plan after over a year of work with Town Staff. Now the Plan is adopted, Staff has prepared code language to make the plan a reality and not merely a vision.

The Overlay is based on specific character districts for different sections or transects of Mountain Avenue. The requirements for each character district are based on their existing built form and future built form. These additional standards are overlaid (the overlay) on top of the existing zoning district for properties 150' from the centerline of HWY 56. These standards include dimensional standards (setbacks, height, etc), architecture, parking, signage, and building placement and form.

The underlying zoning uses do not change (i.e. if zoned commercial, that use is retained; however any commercial building will be required to meet the additional design and dimensional standards. Moreover, any building which legally exists before the adoption of these standards, will be considered legal non-conforming, or grandfathered, and compliance would only be required for new structures/additions/rebuilds.



Some portions of the plan, such as reimagining Fickel Farm, Mtn Avenue streetscapes, and the wayfinding and gateway signage, are not included as code language. Such items are more visionary type items which do not belong as code requirements.

If the overlay is recommended for approval by the Planning Commission, its next step would be Town Board before it is enacted. All property owners within the overlay were sent notice of these changes.

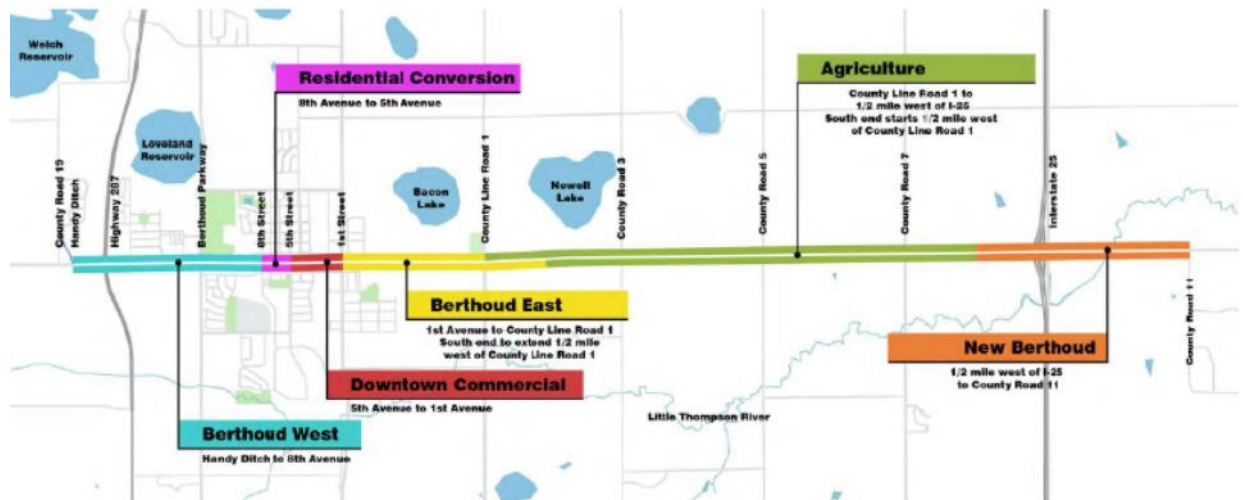
RECOMMENDED ACTION:

Staff recommends approval of the Mountain Avenue Overlay District.

Section 30-3-114 Mountain Avenue Overlay District

1. **Intent:** The Mountain Avenue Overlay Corridor focuses on protecting and enhancing the existing historical districts and directing the general character of new development along Mountain Avenue/Hwy 56. The overlay district defines and emphasizes unique character districts along the corridor and sets specific guidelines as to architecture, site planning, parking, urban design and streetscapes within this area. The underlying zoning remains, but specific design, architecture and setback requirements are governed by the overlay district.
2. **Applicability/Boundaries:**

a. Boundary of Mountain Avenue Overlay District. The boundary of this Mountain Avenue Overlay district (herein referred to as the “Mountain Avenue Overlay District”) shall be the area so labeled and depicted in the map below, and as approved in the official zoning map, which is incorporated herein by reference; which generally extends along HWY 56 and is applicable to all properties within 150’ of the centerline of Hwy 56.



b. Applicability. All of the regulations and requirements of this Section shall fully apply when any of the following occur (the property must be brought into full compliance with this Article when any of the following occur):

1. Construction of any new Structure.
2. Parking area reconfiguration.
3. Structural Alterations. Any structural alteration shall follow the Mountain Avenue Overlay District regulations as follows:
- 4.. Exterior Walls. When any change is made to the façade or an exterior wall of an existing structure all of the façade visible from Mountain Avenue, shall be brought into full compliance with the Mountain Avenue Overlay District found herein.
5. Sign Permits. When a Sign Permit is required within the boundary, apart from refacing the face of existing signs. Any expansion, change, or removal of any

existing signage shall be brought into compliance with the Mountain Avenue Overlay District.

c. Exemptions:

1. General property maintenance and/or general property repair, or;
2. The maintenance, repair, upgrading or replacement of any water, sewer, HVAC, or electrical facilities will not trigger a requirement that such property or structure be brought either fully or partially in compliance with the Mountain Avenue Overlay District.

d. Legal Non-conformities

1. Except as provided in this District to the contrary; all nonconforming uses, nonconforming structures and nonconforming lots, shall be governed by Section 30-3-107.

3. Overlay Requirements

Character Districts The 7.75 mile corridor passes through several distinct environments, each with a unique and definable character that separate them from other places along the corridor. These districts are often defined by architecture, land uses, scale, density, streetscapes, and landscaping. This Overlay protects and enhances the character of each district.

A. Berthoud West Character District

This is a largely undeveloped district with views of the Rocky Mountains, and in close proximity to downtown and Highway 287. This area is envisioned as a vibrant walkable commercial district with opportunities for shopping, employment and other services. Though this district is in close proximity to the town core, it will build on the unique characteristics of downtown, but not replicate it.

1. District Extent:

This district extends approximately 800 feet west of Hwy 287 and east to 8th Street. The parcels that are located within this district are highlighted in the map below.



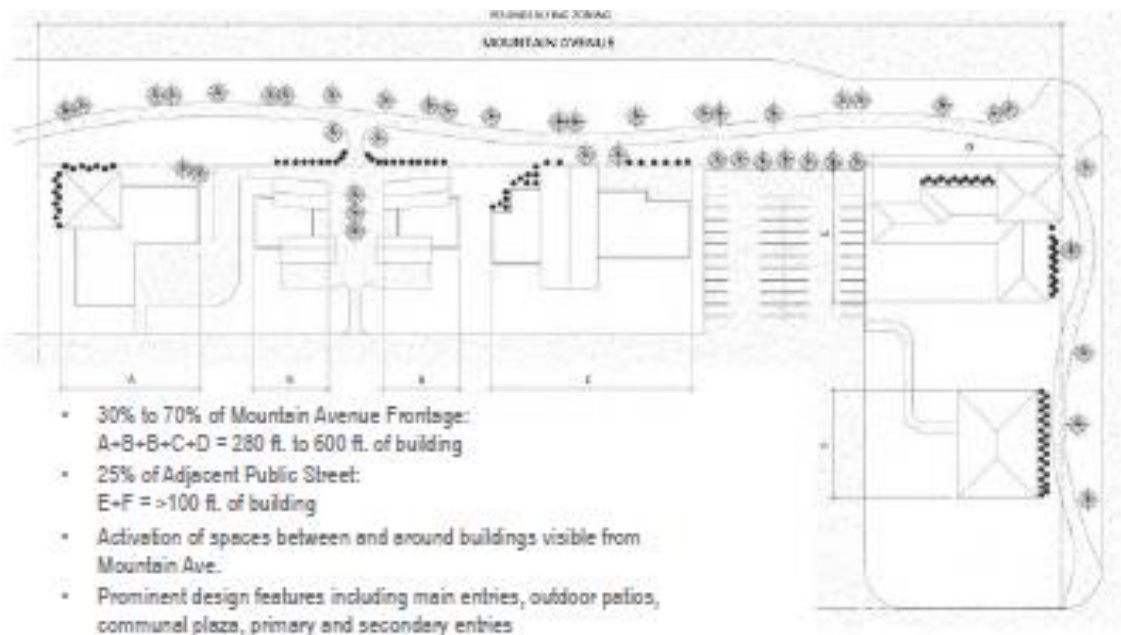
2. Architecture:

Intent: As primarily a commuter route with limited business access, high vehicular speeds have been the norm, but are expected to be reduced with development to encourage pedestrians and cyclists. Building location and entry orientation will also play a key role in enhancing the patron's experience.

a. Building Facades

Buildings' facades along Mountain Avenue shall extend along a minimum of 35% but not more than 75% of the total property frontage and be built to the required setback line with minor variations for facade articulation.

Figure 3.8 Building Frontage Requirements



b. Overall Building Location and Placement of Key Features

i. **Configuration:** Configuration and placement of buildings shall give intentional shape and layout to adjacent exterior gathering spaces and pedestrian/bicycle connections, while being site-specific in response to landscape and hardscape features. “Cookie-cutter” flat-facade buildings that lack articulation and site-specific features will not be allowed. Building placement should follow the principles in Figure 3.9 below.

ii. **Site Planning:** Modern site planning principles include efforts to combine the infrastructure required to develop from building to building or lot to lot. Sharing infrastructure such as detention, parking, internal pedestrian spaces are strongly encouraged.

iii. **Staggered Setbacks and Heights:** A variation in building placement by staggering setbacks as well as a variation in building heights is required for any multi-tenant site plan or Master Plan.

iv. **Limited Access:** Limited access directly from Mountain Avenue allows for long stretches of uninterrupted streetscapes, improves traffic flow on Mountain Ave, and increases the need for automobile access to developments from cross-streets and back streets.

Figure 3.9 Building Placement Example



-  Group elements such as trash/ recycling enclosures with service/ delivery access and use buildings to screen from street view.
-  Orient primary and secondary entries towards street and thus pedestrian connections.
-  Cluster buildings to share exterior gathering spaces and other features.
-  Building clusters to be address primary street intersections to activate corner.
-  Clear and direct pedestrian connections from sidewalk along street to entries.

c. Exterior Activation

i. Requirement for Exterior Activation. Each building/site plan must possess at least one of the following locating the features so they are readily-visible to and from Mountain Avenue to ensure a strong visual connection: outdoor patios, primary and secondary entries, canopies and other features help “activate” a development.

ii. Screening: 3-dimensional building elements to act as screening for service type accessories including roof- and ground-mounted HVAC equipment, electrical/gas meters, loading docks/service entries, etc. These service equipment components shall not be visible from the public R.O.W. or from adjacent properties/uses.

d. Massing and Articulation

i. Compatibility and Configuration: A building’s 3-dimensional configuration plays a significant role in determining the impact it will have on the surrounding environment. The proposed building shall be designed to be compatible with other

structures in the surrounding vicinity in size, scale and character. Building mass shall be well-proportioned and organized to define various horizontal and vertical elements while clearly expressing the internal function of the building. See Figure 3.10.

- ii. **Multiple Buildings:** Multiple buildings in a common commercial development shall be consistent in architectural form/detailing, materials, roof styles and colors to achieve a harmonious design vocabulary and continuity within itself.
- iii. **Multi-tenant buildings/Buildings over 60' Long:** Large retail buildings shall be broken down into a series of complementary forms with a clearly defined pattern. Blend larger flat roof areas with smaller pitched roof elements that denote key functions such as entries or primary window groupings. Horizontal step backs of the facade shall be significant in relation to the overall length and scale of the building. For instance, a 60' long building should have 2-3 primary massing elements with at least 4' to 6' of grade plane changes (i.e. 8-10% of the overall length). Screening elements for items such as ground-mounted or roof-mounted mechanical equipment shall be integrated into the building design and not appear as an after-thought. Creating large expanses of windows with a branded display wall in close proximity to the glass so that it is readily visible from the exterior is not permitted.

Figure 3.10 Four Side Architecture Example



e. Materials and Colors

- i. **Exterior Materials:** facade materials shall be high-quality, durable products such as brick, stone or decorative precast concrete. The primary building skin shall be a high-quality, aesthetically pleasing, durable material such as brick, natural stone, manufactured stone, ground-face CMU or decorative precast concrete, especially at the base of the building that is susceptible to damage by maintenance equipment such as plows, shovels, mowers, etc.

- ii. **Primary Material:** The primary material shall constitute at least 65% of the total wall area for the front and side facades visible from Mountain Avenue and at least 50% for the rear facade; excluding the glazing area of the façade.
- iii. **Glazing:** Exterior glazing shall be high-performance clear glass (not tinted or reflective) with a low-E coating and visible light transmittance (Tvis) of 60% or higher. Use of opaque/spandrel glass to simulate ground-level vision windows is discouraged. Creating large expanses of windows with a branded display wall in close proximity to the glass so that it is readily visible from the exterior is not permitted.
- iv. **Secondary facade materials:** may include cement-based stucco, hardboard siding or decorative metal panels with concealed fasteners and low-gloss finish.

Figure 3.11 Façade Examples



- v. **Screening elements:** such as site walls for parking lots and trash enclosures shall be of the same high-quality durable material as the primary building skin.
- vi. **Primary Façade Colors:** Primary building facade colors shall be non-reflective, muted neutral or earth tones with only small “pops” of bright, higher intensity colors. High-gloss, metallic finishes or fluorescent colors are not allowed. Trademark colors specific to a corporate brand shall only be permitted on building signage subject to the sign code.

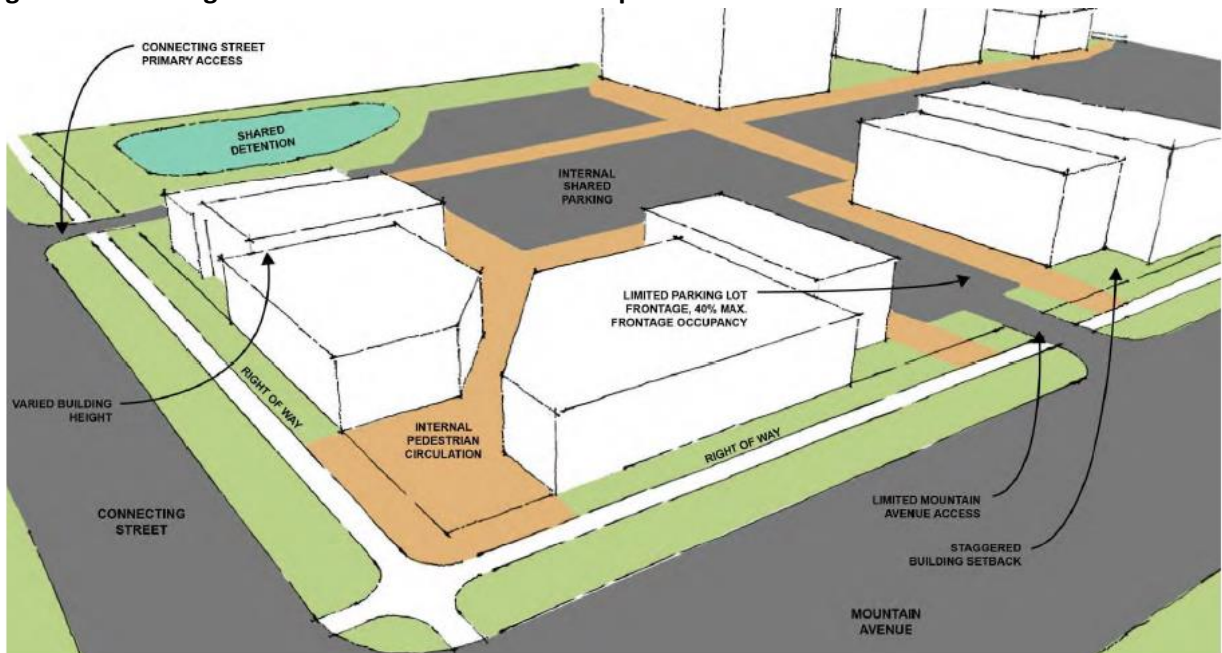
3. Parking:

- a. **Parking:** On-street parking is not permitted on Mountain Avenue within this district. On-street diagonal parking is proposed on Gateway Park Blvd within the proposed village center. To reduce its visual presence on Mountain Avenue, required parking shall be located behind and between buildings. Required parking areas shall not

occupy more than 40% of the Mountain Avenue frontage and must not be forward of any building or structure. In addition, such parking areas shall be screened by a landscape hedge, wrought iron fence, wall as detailed in Table 3.4.

- b. **Drive Thru Areas:** Restaurant and bank drive-thrus shall be oriented away from Mountain Avenue and shall only be accessed by a rear access drive, with no visible drive thru areas fronting Mountain Avenue, as described in Table 3.4.
- c. **Shared Parking:** New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

Figure 3.12 Parking and Pedestrian Circulation Examples



4. Signage:

- a. Ground mounted freestanding signs with horizontal massing are preferred.
- b. Internally illuminated signs are permitted but the entire sign panel may not be illuminated. Text and logos may be illuminated, but the sign panel and cabinet shall be opaque.
- c. See Table 3.9 for specific signage requirements.

Table 3.4 Berthoud West Character District Dimensional Standards

Mountain Avenue Development Criteria

Description		Berthoud West
	Density and Lot Coverage	Per Underlying Zoning
A	Building Height ⁵	Maximum: 3 Stories (40 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line

Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	14 ft. min, 20 ft. max
D	Secondary or side street	20 ft. min ⁸
E	Side yard (3 stories)	10 ft. min
E	Side yard (2 Stories)	Per Underlying Zoning
E	Side yard (1 Story)	Per Underlying Zoning
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning

Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁹	20 ft min. or 5 ft greater than building setback, whichever is greater
I	Secondary or side street	20 ft. min
J	Side yard	5 ft. min 0 ft. if shared
K	Rear	5 ft. min 0 ft. if shared
	Max parking and driveway frontage ⁴	40% of lot frontage

Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	0 ft.
	Awnings	0 ft.
	Balconies	0 ft.
	Bay windows and building projections	0 ft.
	Building eaves	0 ft.
	Patio cover roof	0 ft.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a 0' setback.
2. A 6' minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a 10' minimum vertical clearance above the sidewalk elevation or finished grade.
4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be 3' min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15%.
6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40% into the required setback.
7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
8. Zero (0') setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
9. Drive thru windows shall not be oriented towards Mountain Avenue and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.

B. Residential Conversion District

This district is characterized by charming older homes occupied by businesses and commercial uses. Majestic street trees create a seemingly continuous canopy over Mountain Avenue, and expanded green spaces surrounding the homes and detached walks with tree lawns create a walkable neighborhood.

1. District Extents:

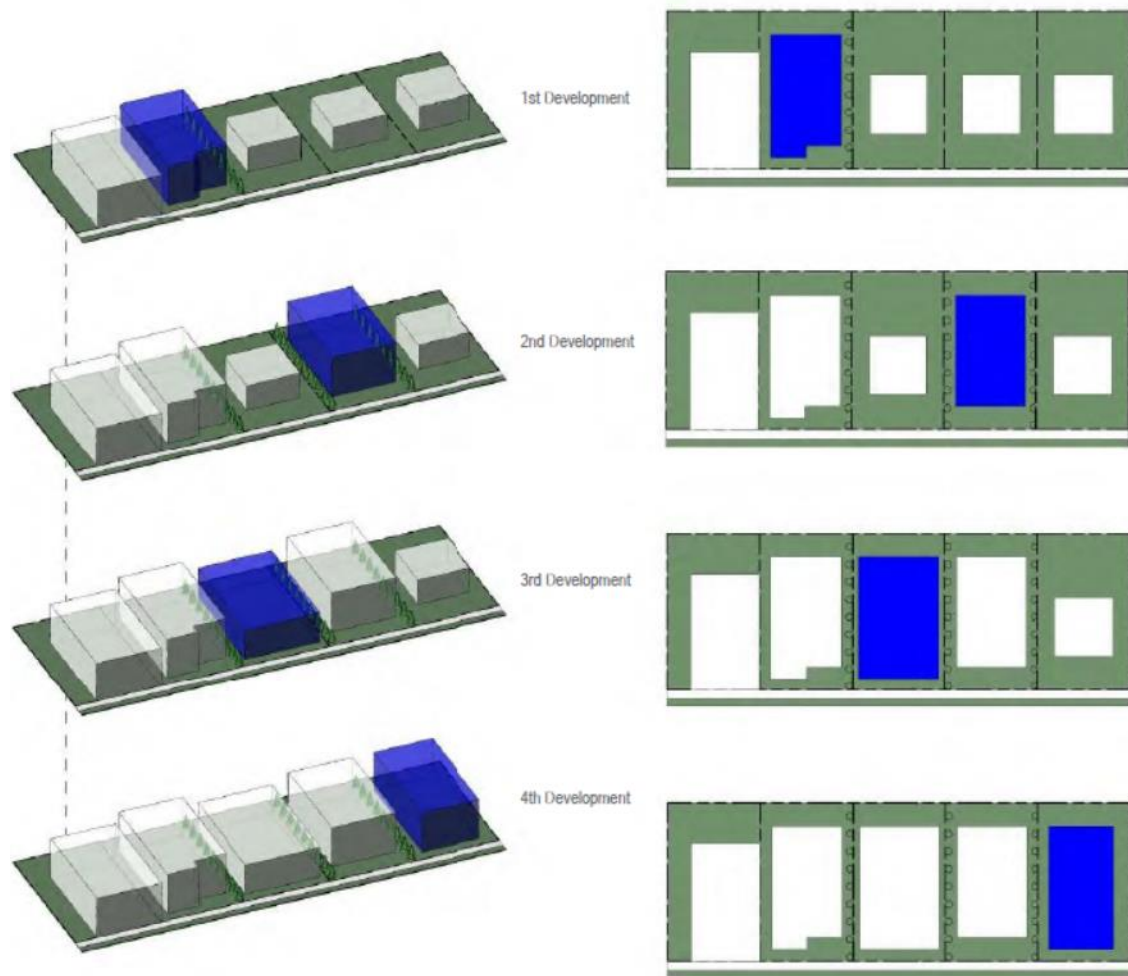
The Residential Conversion character district extends along Mountain Avenue between 8th Street and 5th Street in the downtown area. The parcels that are located within this district are highlighted in the map below.



2. Preservation of Historic Homes and Context

- i. Demolition of, or major alterations to, historic houses is strongly discouraged.
 - ii. Additions should be located to the side and/or rear of the house and should be consistent with the scale of the original home. Side additions should be setback from the front face enough to allow the profile of the original structure to be clear and obvious.
 - iii. When converting a single-family house to a new use, original location and character of the front porch/ stoop shall be maintained.
 - iv. Providing handicapped accessibility to existing historic homes that typically have elevated stoops and porches must maintain the integrity of the original historic structure.
3. **Building Setbacks:** Building setbacks within the Residential Conversion District will need to maintain a portion of the typically large front lawn space of original historic homes, while allowing for the transition to smaller front and side yard lot line necessary for newer developments. Building Setbacks must follow Figure 3.13 below.

Figure 3.13 Special Residential Conversion District Infill Setback Examples



The diagram above shows the progression of new development adjacent to existing residential structures and how, over time, the block can infill with a higher density while respecting the residential character that currently exists.

4. Architectural Guidelines For New Construction

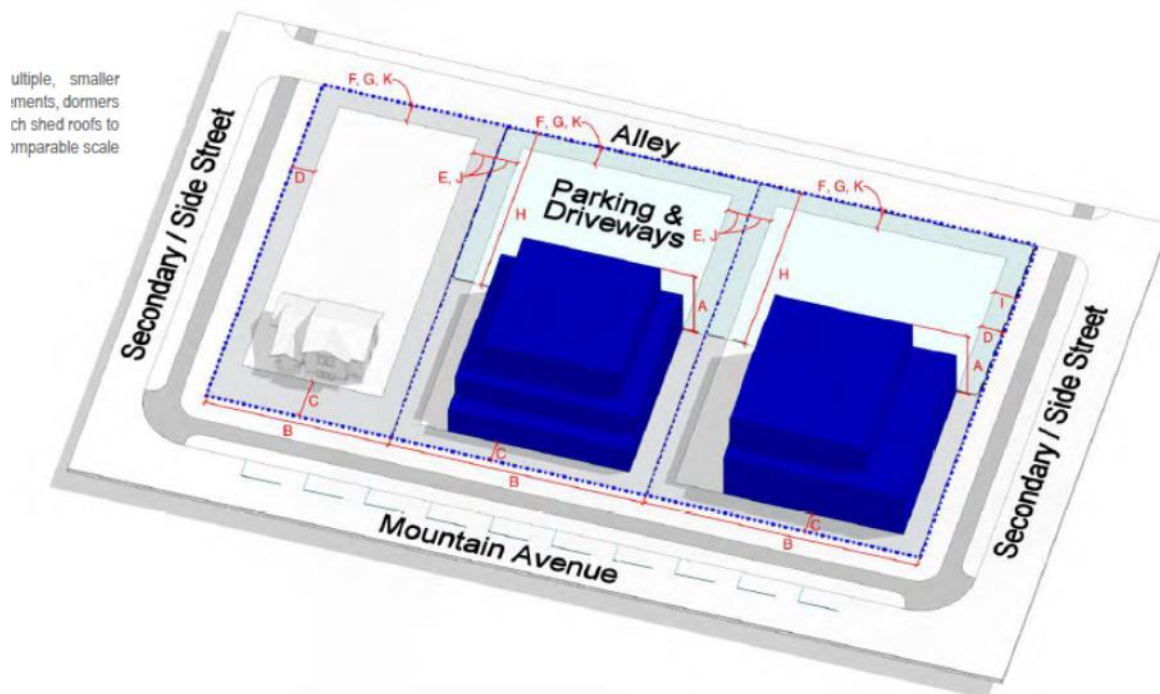
- i. General proportions should be consistent with adjacent structures, including similar floor-to-floor heights and solid-to-void ratios.
- ii. Divide larger structures into smaller components that more closely mimic the traditional single-family home dimensions. These series of smaller components should not be more than 25' to 30' wide and be expressed in wall panel changes of at least 8'; as well as material changes.
- iii. Although platelines/roofs on new construction will be taller, they should be consistent in form and character. This can be accomplished by blending predominately flat roof areas over larger expanses with sloped roof elements at key accent locations such as entries and highly-visible corners.
- iv. Step down stories and rooflines from back to front and from side to side.
- v. The the diversity of architectural styles that currently exists shall be retained to the greatest extent possible.

- vi. New buildings shall be oriented parallel to their lot lines with the primary entry integrated into a porch or portico design element facing Mountain Avenue.

5. Parking:

- a. **Parking:** On-street parking is not permitted on Mountain Avenue within this district. Required parking shall be located behind and between buildings. Required parking areas shall not occupy more than 40% of the Mountain Avenue frontage and must not be forward of any building or structure. In addition, such parking areas shall be screened by a landscape hedge, wrought iron fence, wall as detailed in Table 3.5.
- b. **Drive Thru Areas:** Restaurant and bank drive-thrus are not permitted.
- c. **Shared Parking:** New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

Figure 3.14 Parking Location



6. Signage:

The type, scale and style of signage should be designed to complement the residential character of this district. See Table xx for specific signage requirements.

- a. **Internally Lit Signs Prohibited:** The use of internally illuminated signs should be restricted. If signs are illuminated, external down-lighting should be provided.
- b. Building mounted, and freestanding ground mounted signs are preferred.
- c. See Table 3.9 for additional signage requirements.

Table. 3.5 Residential Conversion Character District Dimensional Standards

Mountain Avenue Development Criteria

Description		Residential Conversion
	Density and Lot Coverage	Per Underlying Zoning
A	Building Height ⁵	Maximum: 3 Stories (40 feet) Minimum: 2 Stories (20 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line

Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	10 ft. min, 20' max
D	Secondary or side street	10 ft min, 15 ft. max
E	Side yard (3 stories)	10' ft. min
E	Side yard (2 Stories)	5 ft. min
E	Side yard (1 Story)	5 ft. min
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning

Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁹	Behind building, accessed from alley where possible
I	Secondary or side street	5 ft. min
J	Side yard	0 ft. min
K	Rear	0 ft. min
	Max parking and driveway frontage ⁴	0%

Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	8 ft. max. ²
	Awnings	6 ft. max
	Balconies	4 ft. max ³
	Bay windows and building projections	2 ft. max
	Building eaves	2 ft. max
	Patio cover roof	2 ft. max.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a 0' setback.
2. A 6' minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a 10' minimum vertical clearance above the sidewalk elevation or finished grade.
4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be 3' min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15%.
6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40% into the required setback.
7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
8. Zero (0') setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
9. Drive thru windows shall not be oriented towards Mountain Avenue and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.

C. Downtown Commercial Character District

Berthoud's Downtown District represents a concentration of character and personality, and shapes much of the Town's identity. Its buildings give a sense of history, its businesses and restaurants show the liveliness of the town, and its quirks set it apart from other towns in Northern Colorado.

1. District Extent:

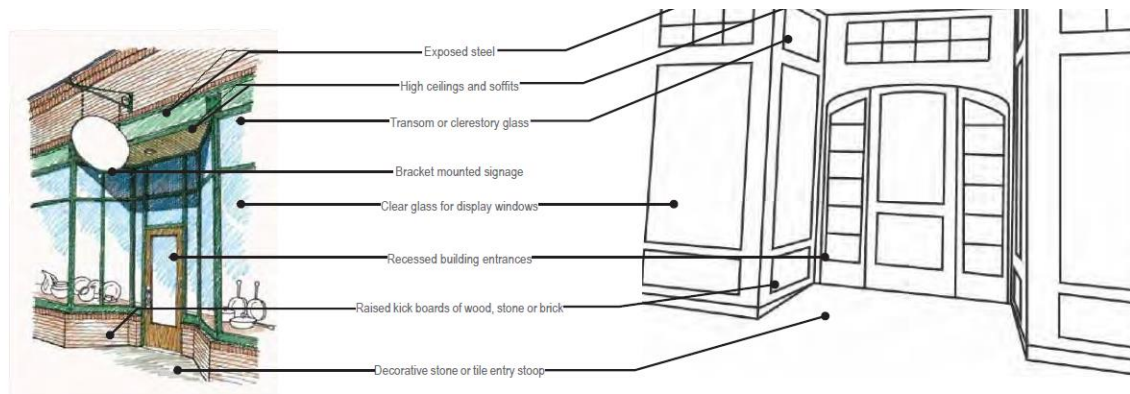
The Downtown Commercial character district extends along Mountain Avenue between 5th Street and 1st Street in the downtown area.



2. Architectural Guidelines

- a. **Ground level storefronts:** Ground level retail storefronts are indicative of the mercantile economy of historic downtowns of the late 19th and early 20th centuries. They often feature formal, symmetrical facades, large expanses of display windows flush with the building front walls, recessed entrances and decorative glass transoms. Such storefronts should possess the following characteristics as depicted in Figure 3.16 and as described below:
 - i. Retail storefronts create an intimate, pedestrian scale along the street, encouraging residents to slow down, interact and window shop.
 - ii. Primarily glazed, ground level storefronts create a distinction between the public retail facade and the more private areas of the upper levels, often expressed by individual punched window openings.
 - iii. The higher ceilings of historic, ground level retail storefronts have a character not often found in more modern construction.

Figure 3.15 Ground Level Storefront Example



- b. **Infill development/Design:** Communities are encouraging infill development of vacant downtown properties and redevelopment of inappropriate or underutilized buildings to revitalize their historic downtowns. Designed properly, new construction can blend seamlessly with original, historic buildings to create a vibrant downtown environment.
 - i. Maintain natural materials and colors that often utilize local materials and represent the workmanship of local craftsmen. Modern metal siding and other industrial materials are inappropriate as primary facade materials in the historic downtown area.
 - ii. New infill development shall not mimic the exact historic designs and details of existing structures but pick up on the rhythm and spacing of elements to be compatible with and complementary to them.
 - iii. Orient building parallel to street and align front facade with established sidewalk edge.
 - iv. If a portion of the building must be set back, use traditional urban site features to maintain defined sidewalk edge noted above
 - v. Create a clearly defined front entry recessed at least 3' so outswinging doors do not project into the perpendicular circulation path
 - vi. Predominate massing at the front property line should be one- or two-stories with setbacks for additional stories
 - vii. Floor-to-floor heights shall appear to be consistent with heights traditionally seen in older adjacent buildings
 - viii. Building Materials: Utilize similar high-quality, durable materials such as brick or stone with only accents of more modern materials
- c. **Building Awnings:** Awnings have been used for centuries to shade the facades and display windows of buildings and provide residents with protection from the elements. Awnings

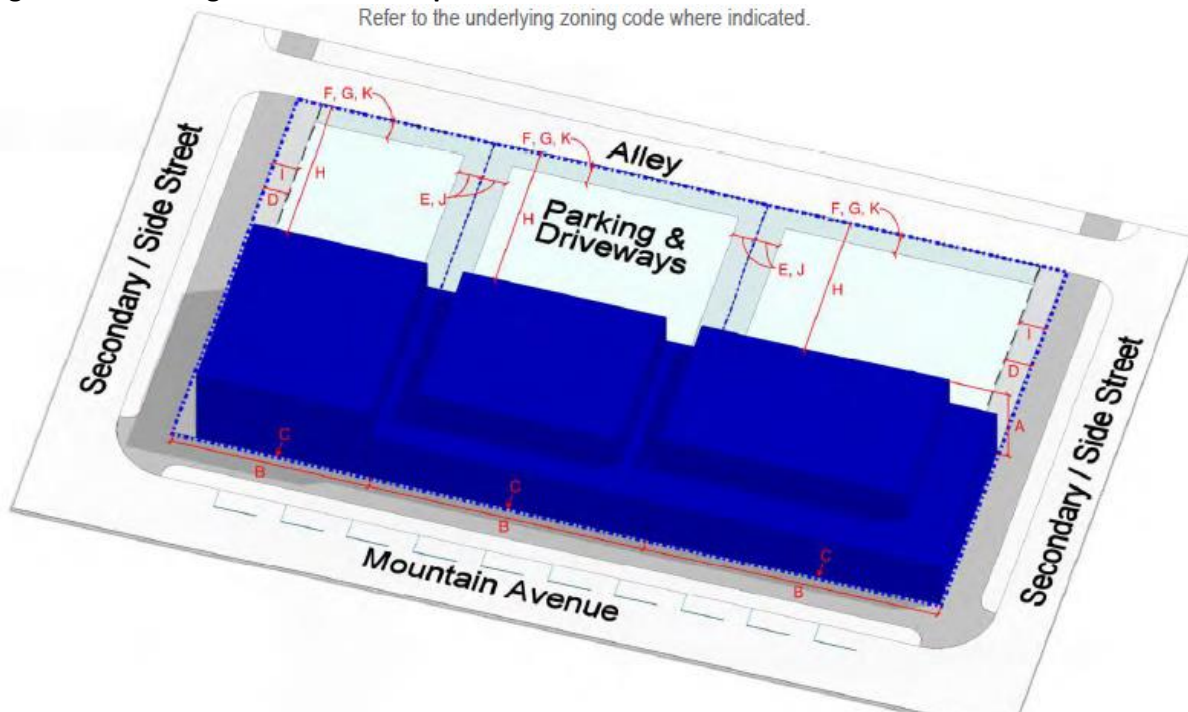
also provide a unifying design element to enhance the downtown streetscape and provide opportunities for colorful accents and signage.

- i. Awnings Encouraged: Awnings are encouraged on all development.
- ii. Awnings should be consistent with primary building, and color should accent the primary building. On-Street Parking:

3. Parking and Access:

- a. On-site parking areas shall be located at the rear of any building as depicted on Figure 3.15.
- b. Curb Cuts: No new curb cuts from Mountain Avenue shall be allowed.
- c. Drive Thru Areas: Restaurant and bank drive-thrus are not permitted.
- d. Shared Parking: New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

Figure 3.16 Parking and Access Examples



4. Signage:

- a. In general, building mounted signs are recommended in this district. This includes wall mounted signs, window signs, and awning signs. The type, scale and style of the signage should be

designed to complement the character of this district and the building that the sign is associated with. Please see table xx for Signage Requirements.

- b. Internally Lit Signs Prohibited. The use of internally illuminated signs and awning should be restricted. If signs are illuminated, external down-lighting should be provided.
- c. Sandwich Board Signs: "A-frame portable sandwich board signs" are currently allowed and commonly used for businesses located on cross-streets within one block of Mountain Avenue in the Downtown Commercial District. These signs contribute to the uniqueness of Berthoud's downtown environment, and the use of the signs should continue. W maximum of one sign shall be allowed on each street corner to reduce visual clutter, and the signs should be well designed, and constructed of quality materials (metal, wood, stone). Plastic signs are not allowed. And sign permits are required for these signs.
- d. Free-standing signs are prohibited in this district.
- e. See Table 3.9 for additional signage requirements.

Table 3.6 Downtown Commercial Character District Dimensional Standards

Mountain Avenue Development Criteria

Description		Downtown Commercial
	Density and Lot Coverage	Per Underlying Zoning
A	Building Height ⁵	Maximum: 3 Stories (40 feet) Minimum: 2 Stories (20 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line

Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	0 ft. min, 10 ft. max ¹
D	Secondary or side street	0 ft. min, 10 ft. max ¹
E	Side yard (3 Stories)	0 ft.
E	Side yard (2 Stories)	0 ft.
E	Side yard (1 Story)	0 ft.
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning

Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁹	Behind building, not accessed from Mountain Avenue
I	Secondary or side street	5 ft. min
J	Side yard	0 ft. min
K	Rear	0 ft. min
	Max parking and driveway frontage ⁴	0%

Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	8 ft. max ²
	Awnings	6 ft. max
	Balconies	4 ft. max ³
	Bay windows and building projections	2 ft. max
	Building eaves	2 ft. max
	Patio cover roof	2 ft. max.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a 0' setback.
2. A 6' minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a 10' minimum vertical clearance above the sidewalk elevation or finished grade.
4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be 3' min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15%.
6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40% into the required setback.
7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
8. Zero (0') setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
9. Drive thru windows shall not be oriented towards Mountain Avenue and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.

D. Berthoud East Character District.

A transition district from the rural agrarian areas to the downtown core. The undeveloped land on the south side of Hwy 56 is envisioned as a vibrant walkable residential district with a mixed-use area near the intersection of County Line Road 1 providing opportunities for shopping, dining, employment and other services. Appropriate land use, scale and density transitions from existing residential neighborhoods are critical.

- 1. District Extents:** The parcels that are located within this district are highlighted in the map below.

North side of Hwy 56 - 1st Street to County Line Road 1.

South side of Hwy 56 - 1st Street to ½ mile east of County Line Road 1.



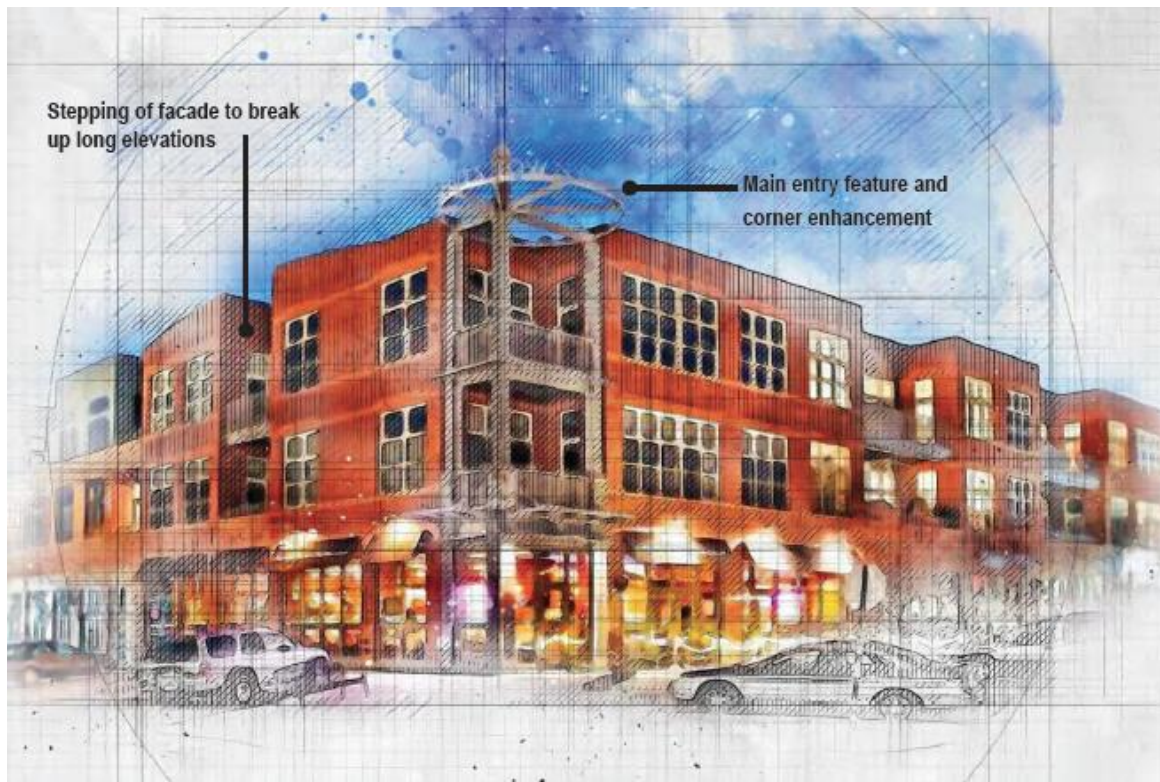
2. Architectural Guidelines for Berthoud East District

Similar to the Berthoud West District, the “East District” focuses on building massing and articulation, and to carefully balance economic interests with the public good by ensuring strong pedestrian and bicycle connectivity with the downtown and residential districts to the west.

a. Scale and Density Focus

- i. Multi-story, mixed use buildings will be encouraged in the denser mixed-use areas immediately adjacent to Mountain Avenue and then taper off in height, size and intensity of use as development extends further away from the overlay district.
- ii. Long facades shall be broken down into smaller architectural expression through stepping. Stepping can be accomplished in both building elevation and in plan. Third story step-backs provide a gradual scale transition between building heights and opportunities for rooftop patio space.

Figure 3.17 Stepping Examples



b. Building Materiality

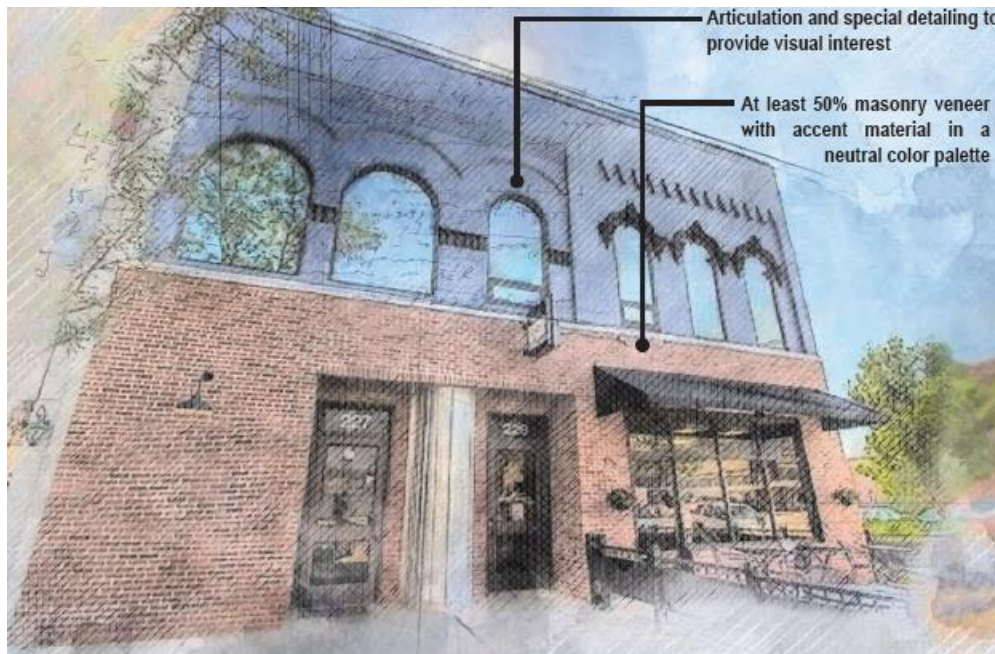
Buildings are meant to convey a sense of permanence and vitality with the use of appropriate materials reinforcing this goal. Materials should be predominantly brick, stone and architectural concrete with accents of wood, stucco or metal wall panels. Variation in materiality is encouraged but should be limited to a maximum of four materiality changes over the total building facade.

- i. Recommended percentage of material variation is as follows:

50%-60% - Masonry veneer (brick or stone), architectural concrete
- ii. Up to three accent materials required:

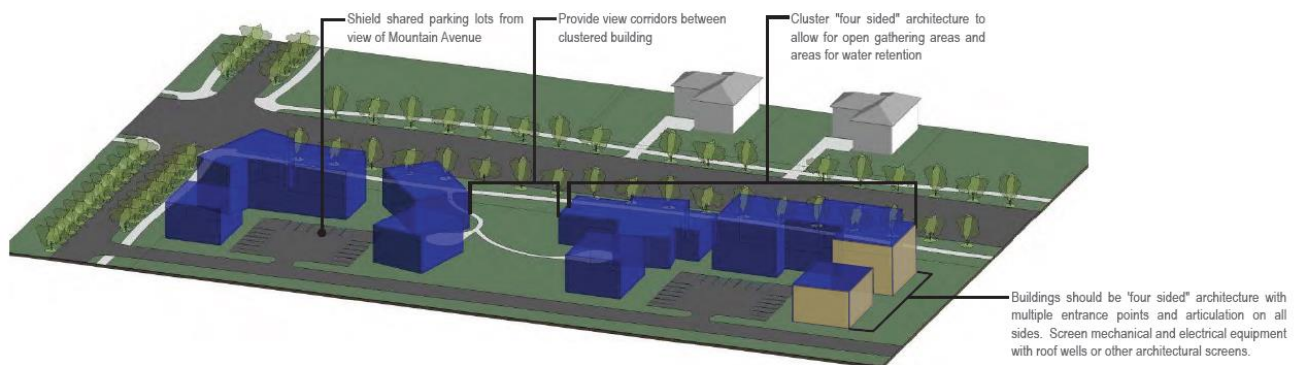
15%-20% - Accent material 'A' (wood, stucco or metal wall panel)
15%-20% - Accent material 'B' (wood, stucco or metal wall panel)
15%-20% - Accent material 'C' (wood, stucco or metal wall panel)
- iii. Articulation and special detailing that provides visual interest and breaks up large expanses of a single building material is supported.
- iv. Color: Color palettes should be primarily of neutral tones with pops of accent color. Accent color and location are to be reviewed and approved with the Site Plan approval process.

Figure 3.18 Materiality Examples



- c. **Balancing Developed Spaces:** Shaping multiple buildings into dense clusters of development, formed around pedestrian and bicycle pathways while leaving reasonable expanses of open areas, will provide view corridors from Mountain Avenue and allow space for water retention.
- i. Buildings shall define a strong street edge with upper floor step back and architectural embellishments at corners and main entry features.
- ii. Buildings shall be oriented on front edge of setback to Mountain Avenue to allow parking in the rear. This provides for a more aesthetic streetscape by screening parking from Mountain Avenue.
- iii. Provide “four sided” architecture with multiple entrance points or articulation and mechanical and electrical equipment screening. All mechanical equipment is to be screened from views from across the street and/or middle of intersections or adjacent properties, whichever is further.

Figure 3.19 Four Sided Architecture



d. Materials and Colors

- i. Exterior facade materials shall be high-quality, durable products such as brick, stone or decorative precast concrete.
- ii. The primary building facade shall be of high-quality durable materials such as brick/stone veneer or decorative precast concrete, especially at the base of the building that is susceptible to damage by maintenance equipment such as plows, shovels, mowers, etc.
- iii. The primary material shall constitute at least 70% of the total wall area for the front and side facades visible from Mountain Avenue and at least 50% for the rear facade; excluding glass.
- iv. Exterior glazing shall be high-performance clear glass (not tinted or reflective) with a low-E coating and visible light transmittance (Tvis) of 60% or higher. Use of opaque/spandrel glass to simulate ground-level vision windows is discouraged. Creating large expanses of windows with a branded display wall in close proximity to the glass so that it is readily visible from the exterior is not permitted.
- v. Secondary facade materials can include cement-based stucco, hardboard siding or decorative metal panels with concealed fasteners.
- vi. Screening elements such as site walls for parking lots and trash enclosures shall be of the same high-quality durable material as the primary building skin.
- vii. Primary building facade colors shall be non-reflective, muted neutral or earth tones with only small “pops” of bright, higher intensity colors. Metallic or fluorescent colors are not allowed. Trademark colors specific to a corporate brand shall only be permitted on building signage subject to the sign code.

3. Parking:

- a. **Parking:** On-street parking is not permitted on Mountain Avenue within this district. Required parking shall be located behind and between buildings. Required parking areas shall not occupy more than 40% of the Mountain Avenue frontage and must not be forward of any building or structure. In addition, such parking areas shall be screened by a landscape hedge, wrought iron fence, wall as detailed in Table 3.5.
- b. **Drive Thru Areas:** Restaurant and bank drive-thrus are not permitted.
- c. **Shared Parking:** New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

4. Signage:

- a. Building mounted signs and ground mounted freestanding signs with horizontal massing are preferred.
- b. Internally illuminated signs are permitted but the entire sign panel may not be illuminated.
- c. Text and logos may be illuminated, but the sign panel and cabinet shall be opaque.
- d. See Table 3.9 for additional signage requirements.

E. Agricultural Character District

Farms, big skies, distant views, and scattered farmsteads provide a pleasant separation between Interstate 25 and the Town which adds to Berthoud's small-town appeal. The primary goal of this district is to retain the rural and agrarian character and to protect the iconic views to the Rocky Mountains.

1. District Extents:

The Agriculture Character District extents vary on the north and south frontages.

- North side of Hwy 56 - County Line Road 1 to ½ mile west of I-25
- South side of Hwy 56 - ½ mile east of County Line Road 1 to ½ mile west of I-25.



2. Agricultural Character District Architectural Guidelines

The architectural style of this area is of an agricultural or farmstead nature. It is recommended that all new develop compliment this agricultural/farmstead nature.

- a. Building materials should be of residential grade and include cement-based stucco, hardboard siding, brick, stone, or decorative metal panels with concealed fasteners.
- b. Roof lines should be of gable end, hip, and valley styles, with dormers, and shed roofs. Clay and concrete tiles are not encouraged.
- c. Primary Building Façade Colors shall be non-reflective, muted neutral or earth tones, with limited accent colors. Metallic or fluorescent colors a prohibited.

Figure 3.20 Examples of Agricultural Style Development



3. Signage:

- a. Building mounted signs and ground mounted freestanding signs with horizontal massing are preferred.
- b. Internally illuminated signs are permitted but the entire sign panel may not be illuminated. Text and logos may be illuminated, but the sign panel and cabinet shall be opaque.
- c. Please see Table 3.9 for additional signage requirements.

Figure 3.21 Agricultural Character Setback Graphic

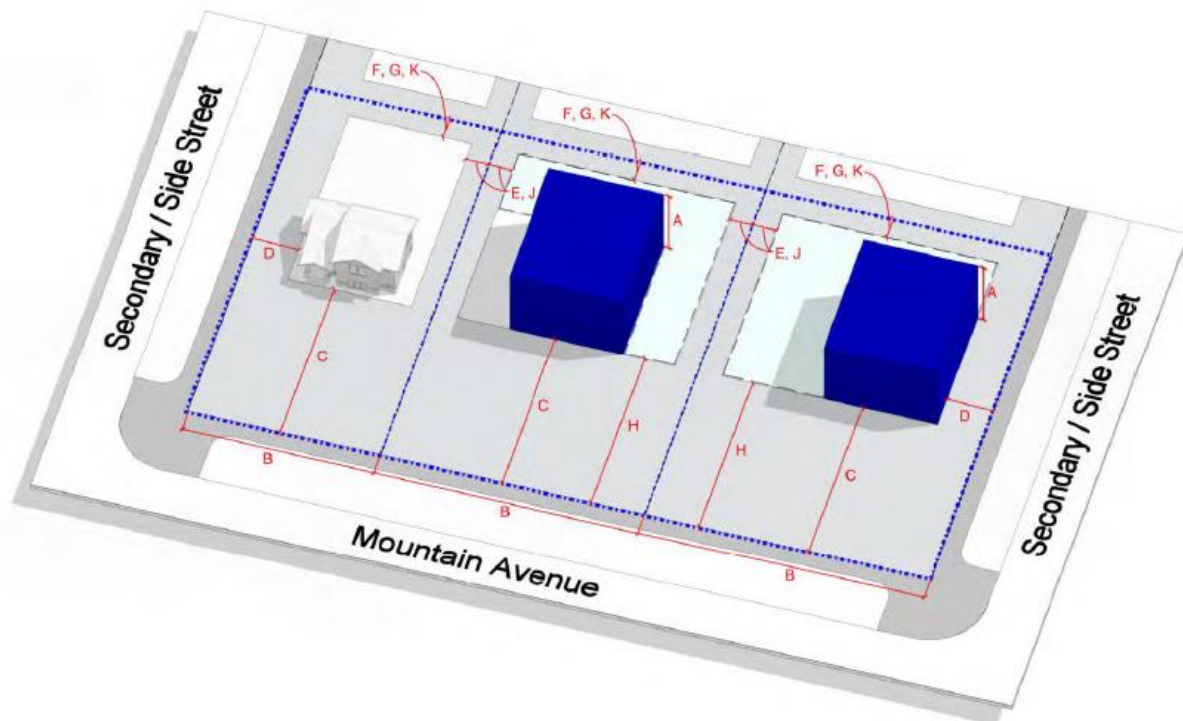


Table. 3.7 Agricultural Character District Dimensional Standards**Mountain Avenue Development Criteria**

Description		Agriculture
	Density and Lot Coverage	Per Underlying Zoning
A	Building Height ⁵	Maximum: 2 Stories (35 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line

Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	80 ft. min
D	Secondary or side street	20 ft. min
E	Side yard (3 Stories)	NA
E	Side yard (2 Stories)	Per Underlying Zoning
E	Side yard (1 Story)	Per Underlying Zoning
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning

Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁹	80 ft. min
I	Secondary or side street	
J	Side yard	5 ft. min, 0 ft. if shared
K	Rear	5 ft. min, 0 ft. if shared
	Max parking and driveway frontage ⁴	40% lot frontage

Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	0 ft.
	Awnings	0 ft.
	Balconies	0 ft.
	Bay windows and building projections	0 ft.
	Building eaves	0 ft.
	Patio cover roof	0 ft.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a 0' setback.
2. A 6' minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.

3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a 10' minimum vertical clearance above the sidewalk elevation or finished grade.
4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be 3' min. in height and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.
5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15%.
6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40% into the required setback.
7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
8. Zero (0') setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
9. Drive thru windows shall not be oriented towards Mountain Avenue, and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.

F. New Berthoud Character District

New Berthoud straddles the I-25/Hwy 56 interchange and is the gateway into Town. The lasting impression should relate to “Berthoud Proper” and offer a fresh new twist.

1. District Extent:

The Agriculture Character District extends ½ mile west of I-25 to County Road 11. Parcels located within this district are highlighted in the map below.



1. Architectural Guidelines for New Berthoud District

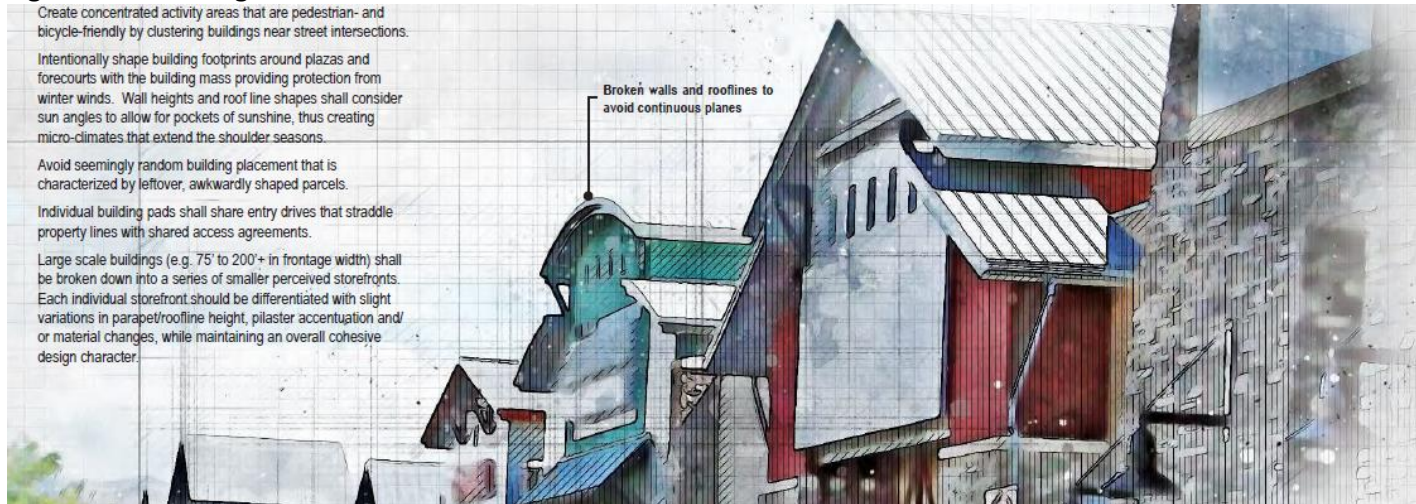
Expansive master planned developments are anticipated in the New Berthoud District with large scale retail/lifestyle uses near the I-25/Mountain Avenue interchange, then transitioning to mixed-use and residential developments further away.

a. Massing and Form

- i. The configuration and massing of these large buildings should give the appearance of individual buildings in the manner of traditional town centers.
- ii. Wall and rooflines should be broken to avoid continuous planes, giving the appearance of individual buildings being built over an extended period of time but with a consistent architectural vocabulary.
- iii. Pedestrian approaches should be well-defined with large overhangs or dynamic canopy elements provided for weather protection.

- iv. Buildings should be clustered near street intersections to create concentrated activity areas that are pedestrian- and bicycle-friendly.
- v. Building footprints around plazas and forecourts with the building mass providing protection from winter winds. Wall heights and roofline shapes shall consider sun angles to allow for pockets of sunshine, thus creating micro-climates that extend the shoulder seasons.

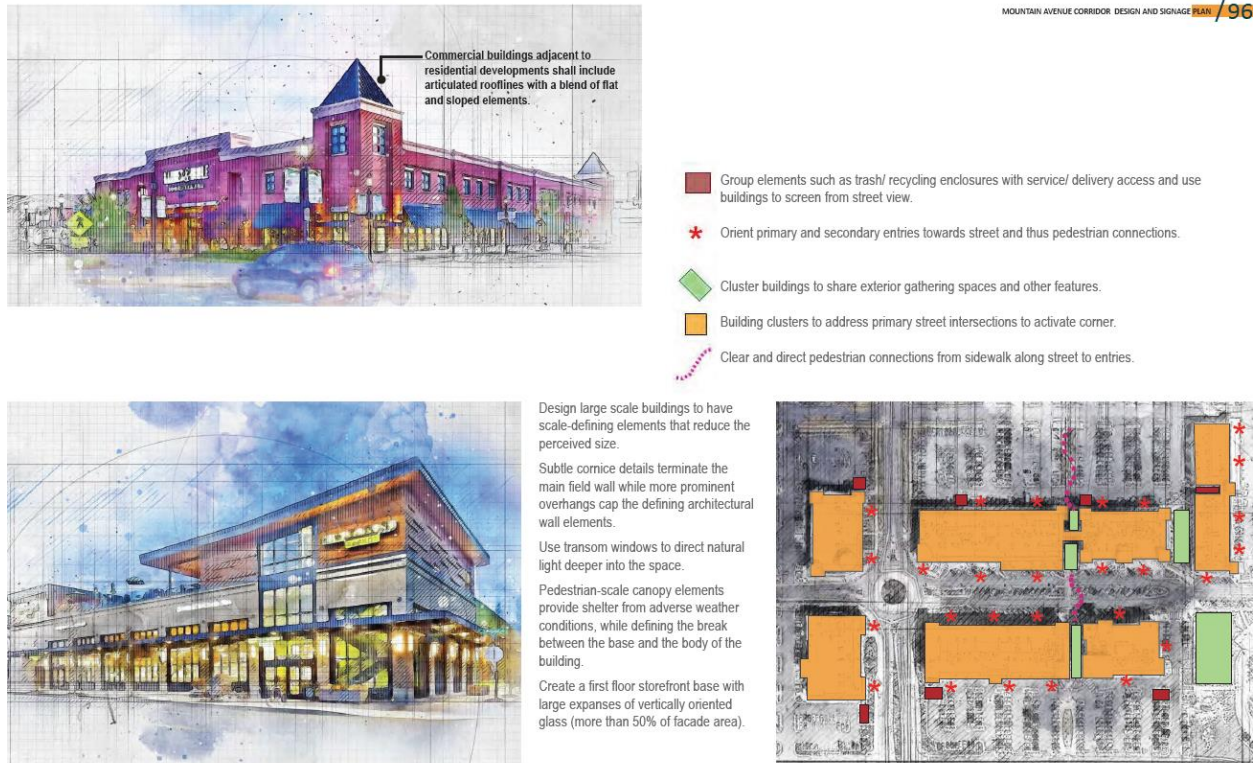
Figure 3.22 Massing New Berthoud Character District



b. Massing and Form for Buildings over 75' in length

- i. Individual building pads shall share entry drives that straddle property lines with shared access agreements.
- ii. Large scale buildings (e.g. 75' to 200'+ in frontage width) shall be broken down into a series of smaller perceived storefronts. Each individual storefront should be differentiated with slight variations in parapet/roofline height, pilaster accentuation and/or material changes, while maintaining an overall cohesive design character.
- iii. Large scale buildings (e.g. 75' to 200'+ in frontage width) shall be designed to have scale-defining elements that reduce the perceived size.
- iv. Provide cornice details that terminate in the main field wall while more prominent overhangs cap the defining architectural wall elements.
- v. Encourage the Use transom windows to direct natural light deeper into the space.
- vi. Pedestrian-scale canopy elements are encouraged to provide shelter from adverse weather conditions, while defining the break between the base and the body of the building.
- vii. First floor storefront base with large expanses of vertically oriented glass (more than 50% of facade area) are encouraged for commercial development.

Figure 3.23 Massing for Buildings 75' in width or larger



3. **Parking:**

a. **Parking:** On-street parking is not permitted on Mountain Avenue within this district. On-street diagonal parking is proposed on Gateway Park Blvd within the proposed village center. To reduce its visual presence on Mountain Avenue, required parking shall be located behind and between buildings. Required parking areas shall not occupy more than 40% of the Mountain Avenue frontage and must not be forward of any building or structure. In addition, such parking areas shall be screened by a landscape hedge, wrought iron fence, wall as detailed in Table 3.4.

b. **Drive Thru Areas:** Restaurant and bank drive-thrus shall be oriented away from Mountain Avenue and shall only be accessed by a rear access drive, with no visible drive thru areas fronting Mountain Avenue, as described in Table 3.4.

c. **Shared Parking:** New off-street parking lots should be shared to reduce the overall footprint of paved parking areas and be tucked behind and between buildings to minimize their visual presence.

4. **Signage:**

- Building mounted signs and ground mounted freestanding signs with horizontal massing are preferred.
- Internally illuminated signs are permitted but the entire sign panel may not be illuminated.
- Text and logos may be illuminated, but the sign panel and cabinet shall be opaque.
- See Table 3.9 for additional signage requirements.

Table 6.8 New Berthoud Character District Dimensional Standards**Mountain Avenue Development Criteria**

Description		New Berthoud
	Density and Lot Coverage	Per Underlying Zoning
A	Building Height ⁵	Maximum: 3 Stories (40 feet)
B	Minimum Lot Width	Per Underlying Zoning
	Building Orientation	Parallel to Front lot line

Building Setbacks		
C	Mountain Ave / Highway 56 ^{6,7}	80 ft. min
D	Secondary or side street	20 ft. min
E	Side yard (3 Stories)	Per Underlying Zoning
E	Side yard (2 Stories)	Per Underlying Zoning
E	Side yard (1 Story)	Per Underlying Zoning
F	Rear	Per Underlying Zoning
G	Rear Alley	Per Underlying Zoning

Off-Street Parking and Driveway Setbacks		
H	Mountain Ave / Highway 56 ⁸	80 ft. min
I	Secondary or side street	
J	Side yard	5 ft. min, 0 ft. if shared
K	Rear	5 ft. min, 0 ft. if shared
	Max parking and driveway frontage ⁴	40% lot frontage

Mountain Avenue ROW Encroachments		
	Outdoor dining areas and display areas	0 ft.
	Awnings	0 ft.
	Balconies	0 ft.
	Bay windows and building projections	0 ft.
	Building eaves	0 ft.
	Patio cover roof	0 ft.

Notes:

1. The ground floor front façade may be recessed/setback to accommodate outdoor dining and or display areas, and such areas shall have a 0' setback.
2. A 6' minimum unobstructed clear zone shall be provided within the ROW around outdoor dining areas for pedestrian circulation.
3. Balconies, bay windows, and other building projections extending in and to the public ROW shall provide a 10' minimum vertical clearance above the sidewalk elevation or finished grade.
4. Off street parking areas and driveways fronting Mtn Avenue/Hwy 56 and/or secondary side streets shall be screened from view from the Public ROW. Screening shall be 3' min. in height

and shall be accomplished with berms, low walls, plantings, etc. Wall materials shall match materials used on the associated building. Wood fences are not allowed.

5. Small tower elements and roof forms/parapet walls associated with primary building areas may exceed the maximum building height by 15%.
6. Permanent features such as steps, ramps, landings, and uncovered porches shall not extend more than 40% into the required setback.
7. Front setbacks abutting Mountain Avenue/HWY 56 shall be measured from the edge of the ROW.
8. Zero (0') setbacks are allowed for buildings fronting Gateway Park Blvd located at the proposed village center.
9. Drive thru windows shall not be oriented towards Mountain Avenue and shall be located only at the rear of the building, and not fronting Mountain Avenue/HWY 56.

4. Signage

- a. All Signage must satisfy the requirements in Table 3.9 below.

Table 3.9 Signage Requirements By Character District

Description	Berthoud West	Residential Conversion	Downtown Commercial	Berthoud East	Agriculture	Now Berthoud
Maximum size of a single sign	100 SF	35 SF	60 SF	100 SF max	100 SF	135 SF
Freestanding Pole Signs	Prohibited	Prohibited	Prohibited	Prohibited	Prohibited	Prohibited
Freestanding Monument Signs	10 feet or less in height, sign area is 135 SF max., area of sign base may not be greater than 50% of the sign area	5 feet or less in height, 32 SF max., area of sign base may not be greater than 50% of the sign area	Prohibited	10 feet or less in height, sign area is 135 SF max., area of sign base may not be greater than 50% of the sign area	10 feet or less in height, sign area is 135 SF max., area of sign base may not be greater than 50% of the sign area	12 feet or less in height, sign area is 155 SF max., area of sign base may not be greater than 50% of the sign area
Wall Signs (max per building face)	120 SF max	35 SF max	60 SF max	120 SF max	100 SF max	105 SF max
Canopy Signs	38 SF max, 18 inch max height	Prohibited	Prohibited	38 SF max, 18 inch max height	38 SF max, 18 inch max height	38 SF max, 18 inch max height
Projecting Signs	Allowable, per sign code	Allowable, per sign code	Allowable, per sign code	Allowable, per sign code	Allowable, per sign code	Allowable, per sign code
Awning Signs	Allowable, per sign code	Allowable, per sign code	Allowable, per sign code	Allowable, per sign code	Allowable, per sign code	Allowable, per sign code
Window Signs	Allowable, per sign code	Allowable, per sign code	Allowable, per sign code	Allowable, per sign code	Allowable, per sign code	Allowable, per sign code
Sandwich Board Signs	Prohibited	Prohibited	Allowable, per sign code	Prohibited	Prohibited	Prohibited
Billboard Signs	Prohibited	Prohibited	Prohibited	Prohibited	Prohibited	Prohibited
Electronic Signs	Per sign code	Prohibited	Prohibited	Per sign code	Per sign code	Per sign code
Off-Premise Signs	Prohibited	Prohibited	Prohibited, except sandwich board signs	Prohibited	Prohibited	Prohibited
Sign and awning illumination	Internal or External illumination is allowed with the following stipulations: Internal illumination: letters and logo(s) may be internally illuminated, surrounding sign panel and supporting structure may not be illuminated. External illumination: entire sign and support structure may be illuminated with cut-off style fixtures. Awnings may be externally illuminated.	Internal or External illumination is allowed with the following stipulations: Internal illumination: letters and logo(s) may be internally illuminated, surrounding sign panel and supporting structure may not be illuminated. External illumination: entire sign and support structure may be illuminated with cut-off style fixtures. Awnings may be externally illuminated.	External illumination only.	Internal or External illumination is allowed with the following stipulations: Internal illumination: letters and logo(s) may be internally illuminated, surrounding sign panel and supporting structure may not be illuminated. External illumination: entire sign and support structure may be illuminated with cut-off style fixtures. Awnings may be externally illuminated.	Internal or External illumination is allowed with the following stipulations: Internal illumination: letters and logo(s) may be internally illuminated, surrounding sign panel and supporting structure may not be illuminated. External illumination: entire sign and support structure may be illuminated with cut-off style fixtures. Awnings may be externally illuminated.	Internal or External illumination is allowed with the following stipulations: Internal illumination: letters and logo(s) may be internally illuminated, surrounding sign panel and supporting structure may not be illuminated. External illumination: entire sign and support structure may be illuminated with cut-off style fixtures. Awnings may be externally illuminated.
Sign Setbacks from Mountain Ave/ Highway 56	5 feet min	5 feet min	Zero feet min, except sandwich board signs, which can be placed on corners in Mountain Ave right of way between 2nd and 5th Streets	5 feet min	10 feet min.	10 feet min.

Notes:

1. Corporate colors and other colors used behind or around a sign to differentiate the it from the building façade shall be included in the sign area.

Figure 3.23 Examples of Freestanding and Awning Signs

Ground Mounted Freestanding Signs

✓ This



✗ Not This



Awning Signs

✓ This



✗ Not This



Figure 3.24 Examples of Canopy and Projecting Signs

Canopy Sign

✓ This



✗ Not This



Projecting Signs

✓ This



✗ Not This





TO: Planning Commission
FROM: Curt Freese, Community Development Director

PLANNING COMMISSION INFORMATION SHEET

MEETING DATE: November 14, 2019
ITEM: Zoning Use Change General Commercial District

BACKGROUND: Staff is also proposing changing the following uses in the zoning code.

Multi-family uses from permitted uses in General Commercial (C-2) to a conditional use.

- ✓ Staff believes the change is necessary to preserve commercial opportunities, as there are only 4 C-2 properties in Berthoud. Keeping it as a permitted use, does not allow Staff or the Town any discretion to preserve these commercial properties (all locate don major gateways into Town).

Bed and Breakfast Establishments from permitted uses in R-2, R-3, R-4, to conditional uses.

- ✓ Traditionally these are conditional uses in most every community as such uses may create negative externalities (parking, noise, etc.) in traditional residential neighborhoods. There is no practical reason to exempt the multi-family district.

Board Houses from permitted uses in R-2, R-3, R-4, to conditional uses.

- ✓ See the comments from Bed and Breakfast Establishments.

All of the proposed changes still allow the use to be established, but only after hearings before the Board and Planning Commission. The Conditional Use allows the use to be turned down, or for the PC/Board to approve with appropriate conditions to mitigate the use which run with the land in perpetuity.

RECOMMENDED ACTION:

Staff recommends approval of the attached changes to the zoning code.

Table 3.3: Principal and conditional uses by zone district

[illegible]