



Town of Berthoud
807 Mountain Avenue
Berthoud, CO 80513
970.532.2643

TOWN OF BERTHOUD PLANNING COMMISSION

TOWN HALL

807 Mountain Avenue

THURSDAY, October 10, 2019

7:00 P.M.

1. Call to Order

2. Roll Call

Jan Dowker, Chairwoman
Sean Murphy
Patrick Dillon
Danielle Trotta

Jeff Butler, Vice Chair
Kelsey Byron, Secretary
Matt Rood

All matters listed under Item 3, Consent Agenda, are considered to be routine by the Planning Commission and will be enacted with a single vote. If discussion is deemed necessary on an item, that item should be removed from the consent Agenda and considered separately.

3. Approval of Minutes of the August 22nd, 2019 Planning Commission Meeting

4. Public Hearing: Hammond Fifth Filing Preliminary Plat, TB Group agent for Landhuis

5. Reports.

6. Adjourn.

If you require a special accommodation, please contact the Town Clerk 24 hours in advance at (970) 532-2643.

1. **Call to Order** – The Planning Commission convened a regular meeting on August 22, 2019. Chairman Banzhaf called the meeting to order at 7:00 p.m.
2. **Roll Call** – Members Present: Scott Banzhaf, Chairman, Kelsey Byron, Jeff Butler, Patrick Dillon, Jan Dowker, Sean Murphy and Dick Shepard.
Staff Present: Curt Freese, Patti Swiger, and Pam Gehringer.
3. **Consent Agenda** – Minutes from meeting of August 08, 2019. Motion to approve by Commissioner Shepard. Seconded by Commissioner Byron. Commissioners Dowker and Murphey abstained. With all other commissioners in favor, THE MOTION CARRIED.
4. **Mountain Avenue Overlay Plan -**
Commissioner Murphy stated that Alm2s Architecture was his former employer. He stated that he intended to listen to the presentation and ask pertinent questions as he was a part of the community; however, he would not be voting on the Plan.

Curt Freese introduced Roger Sherman from BHA Design.

Mr. Sherman introduced the project, which started in September of 2018. He noted that in October 2018 and April 2019 open houses were held for the public to view and comment on the proposed plan. He stated that the overall project goals were to protect and enhance the Town and existing neighborhoods but also create memorable spaces within the Town. He noted that the plan stretched from County Road 11 east of I-25 to the Handy Ditch west of Highway 287. During the process, six distinct character districts were identified: Berthoud West, Residential Conversion, Downtown Commercial, Berthoud East, Agriculture, and New Berthoud. He discussed the vision for each of those districts along with potential bike lanes, trails, and a transit throughout the town.

Brad Massey, Alm2s Architecture, stated that a guideline had been created for architecture that Town Staff would be able to reference when new development was proposed. Key factors in developing quality architecture would be building placement and configuration, massing/articulation, and material and color.

Kaila Bailor, Alm2s Architecture, remarked that each character district was examined separately when those key factors were determined as each district had different conditions.

Doug Elgar, BHA Design, spoke regarding public and private signage (community signage). Criteria for the signage were: reflect small town charm, new and unique to Colorado, reinforce the 'Garden Spot' image of the Town, and be consistent and eye catching. He noted the three potential 'gateway' locations for Berthoud where the signs would be displayed, which were on I-25, Highway 287, and the intersection of 1st Street and Mountain. He noted that included in the proposed signage were 'way finding' signage to help point out schools, parks, etc. Private signage was also examined, which could have a significant influence on image and character of the Town. Recommendations on limitations on private signs were proposed, which included size, type of sign, illumination, etc.

Commissioner Banzhaf asked how the downtown area could accommodate a transit and parking.

Mr. Sherman stated that they had looked into additional parking in the downtown area but not specific to the transit. He also noted that they were sensitive to concerns regarding loss of parking to develop certain areas. If parking spaces were subtracted it would be examined where parking could be added in other areas.

Commissioner Dowker concurred with Commissioner Banzhaf and felt that transit and parking should be a component of the equation.

Commissioner Banzhaf asked about a downtown development authority to help establish proposals within the Plan.

Mr. Sherman mentioned that there were many surrounding areas with downtown development authorities that would be beneficial in helping the Town move forward in developing some of the visions of the Plan.

Commissioner Banzhaf asked if CDOT's proposed plans for I-25 were considered. He noted that the Town's comprehensive plan had aspired for that area to be special and not like all the other towns.

Mr. Freese stated that the Town was likely to design the signage and landscaping at I-25, and there was a meeting with CDOT in September.

Mr. Sherman stated that CDOT would be at the 30% design stage of the project by the end of September, which would incorporate some of what has been envisioned by the Town for that area.

Commissioner Banzhaf thought the Plan had good information; however, some of the pictures contained within the Plan did not meet the Development Code (ie: height of the buildings).

Mr. Sherman stated the intent of the pictures was to highlight a specific feature and was not meant to create change to the Code. He noted that it was determined that a 3-story building was right for the Town of Berthoud.

Commissioner Dillon asked about the Public Works building on the corner of Welch & 2nd Street and wondered if that would be an additional parking opportunity.

Mr. Freese stated that it would be more of a redevelopment opportunity

Commissioner Dillon asked about the pocket neighborhoods and how they had worked successfully in other areas; however, he noted that they looked as if they would not be an affordable area.

Mr. Sherman replied that the idea of the pocket neighborhood was that they offered smaller lot sizes and no yard. There would be a central yard that created a center of the community. He stated that it was just an idea for the redevelopment of an area; however, there were many different ways it could be created.

Commissioner Shepard agreed with Commission Banzhaf and Dowker's concerns regarding the transit area and parking. He felt that it needed to be addressed further. Currently there was already a lack of parking in Town, and if businesses were expanded there would be further need for parking. He asked about the option of incorporating historical architecture.

Mr. Massey stated that if a building was determined to be a historical significance to the community then it would be a starting point to maintain the characteristics of it. With new development, one could consider materiality, window openings, façade treatments, etc. to help keep more of an historical feel.

Mr. Sherman asked if a modern building fit in downtown Berthoud.

Commissioner Shepard stated that within the core of downtown he did not feel that it would fit as there were several blocks of historical buildings.

Commissioner Dowker thought there should be a flow with the current downtown.

Commissioner Banzhaf spoke to the proposed signage. He stated that the way finding signs should be a priority.

Commissioner Byron appreciated the work that had been done. She felt that the proposed signage felt industrial, cold, not friendly, historical or artsy. She also noted that the 'garden' theme in the roundabout would be a lot of maintenance and would be too hard to maintain. She did agree that keeping the same theme at each gateway entry point was important.

Commissioner Butler liked the proposed districts, setbacks, view corridors, etc. He stated that he was against the proposed signage theme. He did not feel that it spoke to the heritage or garden spot identity of Berthoud. He did like the wavy way finding signs proposed.

Commissioner Banzhaf expressed concerns with the proposed signage in the Plan and what was allowed in the Development Code. He expressed some concerns regarding the illumination.

Commissioner Dowker appreciated the hard work put into developing the Plan. She appreciated some of the illumination, which could add some charm to the downtown area.

Mr. Freese explained that the Plan would need to be approved first. Then if there were any development code changes that needed to occur due to the approved plan those would be presented to the Planning Commission and Town Board.

Mr. Sherman noted that the Plan could be amended in the future.

MOTION by Commissioner Shepard to forward the Mountain Avenue Corridor Plan with included discussion from the 08/22/19 Planning Commission meeting to the Berthoud Board of Trustees.

Seconded by Commissioner Byron.

Commissioner Murphy abstained.

With all other Commissioners in favor, THE MOTION CARRIED.

5. Weibel Annexation/Rezoning and WWW Properties Annexation/Rezoning -

Mr. Freese presented the agenda item, which was a request to for two separate annexations both owned by the Weibel family. The first request, Weibel Annexation, was to annex 15.95 acres located off Clayton Place into the Town of Berthoud. The applicant was proposing an Industrial District zoning of M-2 on the currently vacant parcel. WWW Properties Annexation was a request to annex 1.87 acres located at 2541 North First Street into the Town of Berthoud. The applicant was proposing to rezone the property to Limited Industrial (M-1), which currently had an older single-family house on the property.

Troy Campbell, Coffey Engineering, stated that they were available for any questions.

Commissioner Byron agreed that Berthoud could use more industrial zoned areas.

MOTION by Commissioner Shepard to approve the request to annex 1.87 acres, known as WWW Properties, into the Town of Berthoud as per the findings it satisfies the Comprehensive Plan and Colorado Revised Statutes for Annexation.

Seconded by Commissioner Dowker.

With all in favor, THE MOTION CARRIED.

MOTION by Commissioner Shepard to approve the request to annex 15.95 acres, known as the Weibel Annexation, into the Town of Berthoud as per the findings it satisfies the Comprehensive Plan and Colorado Revised Statutes for Annexation.

Seconded by Commissioner Byron.

With all in favor, THE MOTION CARRIED.

MOTION by Commissioner Shepard to approve rezoning to the Light Industrial (M-1) district on the 1.87 acres known as WWW Properties, finding that:

- 1. The Light Industrial (M-1) district proposed, would be in harmony with the adjoining land uses and industrial zoning.**
- 2. The Light Industrial District is expressly supported by the Comprehensive Plan for this area.**

Seconded by Commissioner Dillon.

With all in favor, THE MOTION CARRIED.

MOTION by Commissioner Shepard to approve rezoning to Industrial (M-2) district on the 15.95 acres known as the Weibel Annexation, finding that:

- 1. The Light Industrial (M-2) district proposed, would be in harmony with the adjoining land uses and industrial zoning.**
- 2. The Light Industrial District is expressly supported by the Comprehensive Plan for this area.**

Seconded by Commissioner Murphy.

With all in favor, THE MOTION CARRIED.

6. Village at Rose Farm Final Plat -

Mr. Freese presented the agenda item, which was a request for Final Plat approval for an 8.67 acre development comprised of 66 total dwelling units located on the southeast corner of Spartan Avenue and S. Berthoud Parkway. Mr. Freese noted that there had been a reduction of three interior townhouse dwelling units from the Preliminary Plat approval. He stated that the development offered three different types of uses: townhouses, duplexes or paired homes, and single-family dwelling units. The land was currently zoned R-3 Multi-family, which permitted the aforementioned zoning uses. In addition, the R-3 district allowed 20 dwelling units per acre, which would result in a maximum density of 173 dwelling units; therefore, the proposed density was roughly a third of the density allowance and satisfied the district standard.

Lee Martin, Landmark Engineering, noted that there was a reduction of three units.

Len Larson, 205 Hubbell Street, stated that the agricultural land to the east had a water right; however, with the development of the Rose Farm portion of the development that water right had been damaged and there was not longer adequate irrigation for that farmer. He hoped that this project would not further damage that agricultural land and the damage could be mitigated.

Mr. Freese explained that the agricultural property had been purchased without the water rights.

Commissioner Banzhaf noted that the property owner was currently working on a plan to obtain water.

Commissioner Murphy asked about the driveway on Lot 6 coming out on Bluebell Drive.

Mr. Freese stated that it met the site distance requirements.

Commissioner Byron asked if there would be parking on Spartan Ave.

Mr. Freese replied yes.

Commissioner Byron asked about a crossing at 10th and Spartan.

Mr. Freese stated that it was a condition of the Preliminary Plat, which the applicant was aware of.

Commissioner Byron mentioned that it would be helpful to have water access for the proposed community garden. She asked if there was a maintenance plan for it.

Mr. Martin stated that water would be available, and there would be an irrigation tap there. He stated that there was no maintenance plan.

Commissioner Dowker thanked the applicant for the pollinator and community gardens. She was also glad for the housing diversity offered.

Commissioner Murphy agreed and also appreciated the amount of density proposed as he felt it was appropriate for that area.

Commissioner Shepard thanked the applicant for their quality development.

MOTION by Commissioner Shepard to approve The Village at Rose Farm Final Plat as it satisfies the conditions of Section 30-6-108 with the addition of:

- **A pedestrian crossing at the intersection of Spartan Avenue and 10th Street.**

Seconded by Commissioner Murphy.

With all in favor, THE MOTION CARRIED.

7. Heron Lakes 12th Filing Final Plat -

Mr. Freese presented the agenda item, which was a request for a Final Plat for eighty-four (84) single family home lots.

Kristin Turner, TB Group, stated that nothing had changed from the Preliminary Plat approval.

Mr. Freese discussed the development and timing of the trails.

MOTION by Commissioner Shepard to approve the Heron Lakes 12th Filing Final Plat Finding it is consistent with the requirements of Section 30-6-108 and the Comprehensive Plan.

Seconded by Commissioner Dowker.

With all in favor, THE MOTION CARRIED.

8. Development Code Update to Sections 2, 3, 4 and 6 -

Mr. Freese continued discussion on the updates to the Development Code.

Commissioner Banzhaf noted the garage embellishments discussed at the last meeting. He felt that the code language did not reflect what was discussed.

Commission Butler agreed and felt that the language should add more details about the garage door façade.

Commissioner Byron suggest amending the sentence to incorporate 'enhanced garage door'.

Mr. Freese stated that he would revise the language.

Commissioner Banzhaf felt that there should be several illustrations provided to emulated what was being asked for. He stated that they could be in an addendum.

Mr. Freese proposed to add new Code language for the C2 zoning district to restrict gas canopies or pumps in the front of a building on main corridors. He stated there would be the opportunity to request a variance.

Commissioner Shepard mentioned that certain landscaping could help with the visual effects.

Further discussion ensued regarding the proposed language. The Commission agreed that Mr. Freese could craft language to add the requirement to the Code.

Commissioner Murphy asked that the code revisions discussed be revisited in one year to make sure they were still appropriate and working.

MOTION by Commissioner Shepard to forward the Development Code Updates, Sections 2, 3, 4 and 6, to the Town Board subject to the following inclusions:

- Language regarding garage door embellishments be amended
- Gas canopies and pumps shall be sensitive to the lot layout and view corridor of the area in the C2 Commercial Zoning District.

Seconded by Commissioner Byron.

With all in favor, THE MOTION CARRIED.

9. Election of Officials

MOTION by Commissioner Banzhaf to nominate Commissioner Dowker as Chairman.

Seconded by Commissioner Byron.

With all in favor, THE MOTION CARRIED.

MOTION by Commissioner Banzhaf to nominate Commissioner Butler as Vice-Chairman.

Seconded by Commissioner Byron.

With all in favor, THE MOTION CARRIED.

10. Reports

Commission members thanked Commissioners Banzhaf and Shepard for their service on the Planning Commission.

Mr. Freese noted that the Comprehensive Plan was scheduled to be updated in the near future.

Meeting adjourned at 9:29 p.m.

Kelsey Byron, Secretary

Jill Wilson, Planning and Building Technician



STAFF REPORT: PRELIMINARY PLAT HAMMOND FIFTH FILING

DATE: October 10, 2019

GENERAL INFORMATION		
Applicant:	The Birdsall Group, agent for Jeff Mark, Landhuis	Size: 33.605 acres
Site Location:	The property is located West of LCR 17, South of LCR 10 E, and South and East of HWY 287.	
Applicant's Request:	To obtain preliminary approval for Filing #5 of Hammond to develop 31 single family lots.	
Current Zoning: Approved for (R-4) zoning at the Jan. 12, 2017 PC meeting.		
ZONING DISTRICT INFORMATION		
	R-4	
Min. Lot Size	1,200 sq. ft.	
Min. Lot Width	16'	
Front Setback	10' (no front garage) 20' with front garage	
Side Setback	5'	
Rear Setback	5' (alley or rear loaded garage); 10' front loaded garage	
Building Height:	50'	
Density:	24 units per acre	
SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS		
Adjacent Zoning	Adjacent Land Uses	Setbacks for Adjacent Zoning /Buffer required if rezoned
North: Hammond Filing 2 (R-1)	Single Family homes in development	N/A
South: (Undeveloped-County)	Empty Development Land/Richardson/Loveland Reservoir	N/A
East: Hammond 2 nd (R-1)	Single Family Homes	N/A
West: Hammond Future Filing	HWY 287 and Heron Lakes in development	N/A

PROPOSAL

The applicant is proposing a Preliminary Plat for the Fifth Filing comprised of 33.605 acres, and consisting of 31 single family lots, with roughly ~11.06 acres of open space (43% of the total area), a majority of which serves as detention ponds for the Northern filings of Hammond. An 0.79 acre pocket park has been provided. The entirety of the project is located within the R-4 zoning district, which does allow single family houses as a permitted use. With 31 lots on almost 34 acres, the density of ~1 acre is dramatically lower than the R-4 allowance of 24 units per acre.

BACKGROUND

The Hammond ODP/PUD was originally approved as a mixed-use development in 2008, with an overall density of 758 residential dwelling units, 756,686 sq. ft. of commercial space (with a minimum of at least 5 acres of commercial space), and allowances for high density residential uses throughout the entire project. The original developer sold it to the current Applicant, who applied for a rezoning out of the original PUD. As part of this rezoning, the Southern half of the overall Hammond property was rezoned to Mixed Use (R-4) and retained the 5-acre commercial minimum requirement, while the portions comprised of the second, third, and fourth filing, were zoned Single-Family Residential (R-1). Filing 5 comprises the entirety of the Southern R-4/commercial. Filing 1 was approved in 2015, and Filings 2-4 were approved in 2016-2018. Note, the lot diversity standards requiring 20% diversity, were approved in 2018 after Filings 1-4 were approved and recorded for development.

Filing History of Request

Filing 5 was submitted in January of this year and has been in review ever since. The original filing included the single-family houses proposed in a slightly different layout, as well as 67 townhomes to the West. The project has been kept in review due to drainage and layout issues especially with the property to the South, but more importantly concern over the potential location of HWY 287 off-ramps on the western portion of the property (which were platted for townhouses and future commercial). Staff has met with the Southern property owner and the County multiple times, and a solution for access to the South has been made. Staff met with CDOT in late August, and questions and concerns from CDOT over the layout of the off-ramp proposed on the Hammond 5th property were discussed. At this time, the Applicant asked if they could go forward with a single-family section, rather than being stuck on hold due to questions regarding funding, proposed location, and planning of the off-ramps. Staff agreed to move

forward, and the Applicant has separated out the single-family area for fifth filing, and added an additional pocket park, and subdivision identity standards.

Roads

This request proposed the vacation of an unnamed County road to the South (see the eastern portion of the property), and half of the County ROW for Old County Road 10E. The property to the South is not annexed into Town. Multiple meetings between the County, the Applicant, and the property owner to the South were held to resolve these issues, with the end result an agreement on the two stub streets to the South. The existing unnamed County ROW to access the property to the South, does not satisfy the County’s distance requirements from intersections, and would be considered unsafe if it was paved. In return, the applicant is providing two access points (Nicholson and Street E) to the South instead. The County also has no intention of maintaining Old County Road 10E, so this ROW will be vacated.

Subdivision Identity

The Applicant is proposing 5 subdivision identity elements which would satisfy the code. These include a soft surface trail, an 0.79 acre pocket park, a playground within the pocket park, wood fencing, and pollinator plantings.

Site Identity	
34 DWELLING UNITS = 5 REQUIRED ELEMENTS	
ELEMENTS PROVIDED:	
POLLINATOR PLANTING PALETTE	(1) ELEMENT
SOFT SURFACE TRAIL	(1) ELEMENT
POCKET PARK	(1) ELEMENT
PLAYGROUND	(1) ELEMENT
WOOD FENCING	(1) ELEMENT
TOTAL PROVIDED	5 ELEMENTS

Park & Open Space Statistics	
34 DWELLING UNITS =	0.34 AC PARK REQUIRED
POCKET PARK=	0.79 ACRES PROVIDED

PREFERRED LAND USE

The Town's Preferred Land Use Map designates the areas as High Density Residential (8-14 Dwelling units per acre), therefore this filing of residential single family lots would be consistent with the Preferred Land Use Plan.

FINDINGS NECESSARY FOR THE PRELIMINARY PLATS

- 1. The Preliminary Plat represents a functional system of land use and is consistent with the rationale and criteria set forth in this Code.**
 - ✓ The layout and uses are functional and satisfy all requirements of the Development Code.
- 2. The application incorporates the Town's recommendations and any conditions of approval.**
 - ✓ The Applicant has provided two street stubs to the South, a new pocket park, and has provided the necessary subdivision identity standards.
 - ✓ The Applicant did withdraw the Western townhouse/commercial portion due to Town and CDOT concerns over the layout of the off-ramps.
- 3. The land use mix within the project conforms to Berthoud's Zoning District Map and Preferred Land Use Map and furthers the goals and policies of the Comprehensive Plan and PORT Plan.**
 - ✓ The single family use is permitted in the R-4 zoning district and is well under the allowed density requirements of R-4.
- 4. The utility and transportation design is adequate, given existing and planned capacities of those systems.**
 - ✓ As aforementioned, the Applicant is now providing two stub streets for access to the properties to the South, at the recommendation of Staff and the County.
 - x. A drainage easement will still be required for the property to the South, and will be required before a Final Plat moves forward to the Planning Commission for Consideration.
- 5. Negative impacts on adjacent land uses including, but not limited to: solar access, heat, dust, glare, traffic and noise have been identified and satisfactorily mitigated.**
 - ✓ The Plan does mitigate traffic issues by providing safer access to the property to the South and eliminating Old County Road 10 E, which the County has no desire to maintain.
 - ✓ The plat also leaves plenty of room for the future 287 off-ramps to the West.
- 6. There is a need or desirability within the community for the applicant's development and the development will help achieve a balance of land use and/or housing types within Berthoud.**

x. Thus far, only single-family homes have been built and developed in the Hammond Development. This would leave roughly 9 acres of the overall 120 acres of the development, for non-single-family development, of which 5 acres are reserved for “commercial” uses. Note, the lot diversity standards requiring 20% diversity, were approved in 2018 after Filings 1-4 were approved and recorded for development, and this request was originally submitted with an additional 67 townhomes.

PUBLIC NOTICE AND COMMENT

Notice of the Town Board Public Hearing has been mailed to property owners within 500 feet of the subject property, a legal ad published, and the property was posted as required by the Development Code. In addition, the application was sent out to all property owners within 500’, with an invitation to comment on the request within three weeks of receipt. Staff did have comments from the property owners to the South, and held numerous meetings with them, the County, and the Applicant to work out an improved access solution.

FINDINGS AND RECOMMENDATIONS

Staff recommends approval of the Hammond Fifth Filing, with the following findings:

- **Finding it is consistent with the requirements for Preliminary Plats in Section 30-6-107 (see pages 3-4)**

Reminder: When making a motion for or against a Preliminary Plat, please provide clear findings in support of the proposed motion utilizing the findings in support of the Criteria necessary for approval or denial (found on page 3).

**PROPOSED
PRELIMINARY
PLAT**

HAMMOND SUBDIVISION, FIFTH FILING

A TRACT OF LAND LOCATED IN THE EAST HALF OF SECTION 10, TOWNSHIP 4 NORTH,
RANGE 69 WEST OF THE 6TH P.M., TOWN OF BERTHOUD, COUNTY OF LARIMER, STATE OF COLORADO

LEGAL DESCRIPTION AND DEDICATION:

KNOW ALL MEN BY THESE PRESENTS: That the undersigned, being the owner of HAMMOND SUBDIVISION, FIFTH FILING, located in the East Half of Section 10, Township 4 North, Range 69 West of the 6th Principal Meridian, Town of Berthoud, County of Larimer, State of Colorado, more particularly described as follows:

Considering the East line of the Southeast Quarter of Section 10 as bearing South 00° 15' 09" East and with all bearings contained herein relative thereto:

COMMENCING at the East Quarter corner of Section 10; thence along the East line of the Southeast Quarter of Section 10, South 00° 15' 09" East, 48.84 feet; thence, South 89° 44' 51" West, 38.00 feet to the **POINT OF BEGINNING**; thence along the Northerly right-of-way line of Old County Road 10E the following 10 courses and distances: South 37° 13' 08" West, 177.28 feet; thence along a curve concave to the Northwest having a central angle of 42° 21' 30" with a radius of 270.00 feet, an arc length of 199.61 feet and the chord of which bears South 58° 23' 53" West, 195.09 feet; thence, South 79° 34' 38" West, 183.43 feet; thence along a curve concave to the Southeast having a central angle of 30° 54' 30" with a radius of 310.00 feet, an arc length of 167.23 feet and the chord of which bears South 64° 07' 23" West, 165.21 feet; thence, South 48° 40' 08" West, 103.63 feet; thence along a curve concave to the Northwest having a central angle of 55° 53' 30" with a radius of 200.00 feet, an arc length of 195.10 feet and the chord of which bears South 76° 36' 53" West, 187.45 feet; thence, North 75° 26' 22" West, 319.51 feet; thence along a curve concave to the South having a central angle of 16° 57' 10" with a radius of 940.00 feet, an arc length of 278.13 feet and the chord of which bears North 83° 54' 57" West, 277.12 feet; thence, South 87° 36' 28" West, 251.26 feet; thence along a curve concave to the North having a central angle of 04° 25' 24" with a radius of 940.00 feet, an arc length of 72.57 feet and the chord of which bears South 89° 49' 11" West, 72.55 feet to a point on the East line of that tract of land recorded at Reception No. 20010095106; thence along a curve concave to the South having a central angle of 127° 07' 37" with a radius of 70.00 feet, an arc length of 155.32 feet and the chord of which bears North 84° 08' 44" West, 125.36 feet to a point on the Northerly right-of-way line of Old County Road 10E; thence along said Northerly line the following 2 courses and distances: along a curve concave to the Northeast having a central angle of 11° 02' 17" with a radius of 940.00 feet, an arc length of 181.09 feet and the chord of which bears North 74° 48' 10" West, 180.81 feet; thence, North 69° 17' 02" West, 40.64 feet to a point on the Easterly right-of-way line of U.S. Highway 287 as recorded at Reception No. 20010095104; thence along said Easterly line, North 08° 09' 14" East, 1185.95 feet to the Southerly right-of-way line of County Road 10E; thence along said Southerly right-of-way line the following 4 courses and distances: South 81° 49' 58" East, 202.75 feet; thence along a curve concave to the Southwest having a central angle of 41° 16' 02" with a radius of 770.00 feet, an arc length of 554.59 feet and the chord of which bears South 61° 11' 57" East, 542.68 feet; thence South 40° 33' 56" East, 385.17 feet; thence along a curve concave to the Northeast having a central angle of 43° 58' 57" with a radius of 870.00 feet, an arc length of 667.84 feet and the chord of which bears South 62° 33' 24" East, 651.57 feet to a point on the Westerly line of that tract of land recorded at Reception No. 2001009506; thence along said Westerly line, South 03° 28' 48" West, 7.51 feet; thence along a curve concave to the North having a central angle of 3° 55' 05" with a radius of 877.50 feet, an arc length of 60.01 feet and the chord of which bears South 86° 31' 24" East, 60.00 feet to the Easterly line of that tract of land recorded at Reception No. 2001009506; thence along said Easterly line, North 03° 28' 48" West, 7.51 feet Southerly right-of-way line of County Road 10E; thence along said Southerly line the following 2 courses and distances: along a curve concave to the North having a central angle of 01° 30' 57" with a radius of 870.00 feet, an arc length of 23.02 feet and the chord of which bears South 89° 15' 29" East, 23.02 feet; thence, North 89° 59' 03" East, 352.15 feet to the **POINT OF BEGINNING**, containing 1,463,824 square feet, or 33.605 acres, more or less.

Have laid out, platted, and subdivided the above described land, under the name and style of HAMMOND SUBDIVISION, FIFTH FILING, and by these presents do dedicate to the Town of Berthoud in fee simple the street and public "rights-of-way" as shown on the plats, and grant to the Town of Berthoud such easements and rights-of-way, and all right, title and interest in real property to the above described lands, including all surface interests and all minerals within or underlying said lands, as are created hereby and depicted or, by note, referenced hereon, along with the right to install, maintain, replace and operate mains, transmission lines, service lines, and appurtenances, either directly or through the various public utilities, as may be necessary to provide such utility, cable television, water, electric, natural gas and sanitary services within this subdivision or property contiguous thereto, through, over, under, and across streets, utility and other easements, and other public places shown on the plat.

OWNER:

BY: _____

STATE OF COLORADO)
)SS
COUNTY OF LARIMER)

The foregoing instrument was acknowledged before me this ____ day of _____, 20____, by _____ as _____ of _____.

Witness my hand and official seal

My commission expires: _____

Notary Public _____

LIEBHOLDER:

BY: _____

STATE OF COLORADO)
)SS
COUNTY OF LARIMER)

The foregoing instrument was acknowledged before me this ____ day of _____, 20____, by _____ as _____ of _____.

Witness my hand and official seal

My commission expires: _____

Notary Public _____

RIGHT TO FARM STATEMENT

The Town of Berthoud has adopted a "Right to Farm" policy. All new and existing residents are expected to read and understand the policy. For a copy of the policy, please contact the Town of Berthoud.

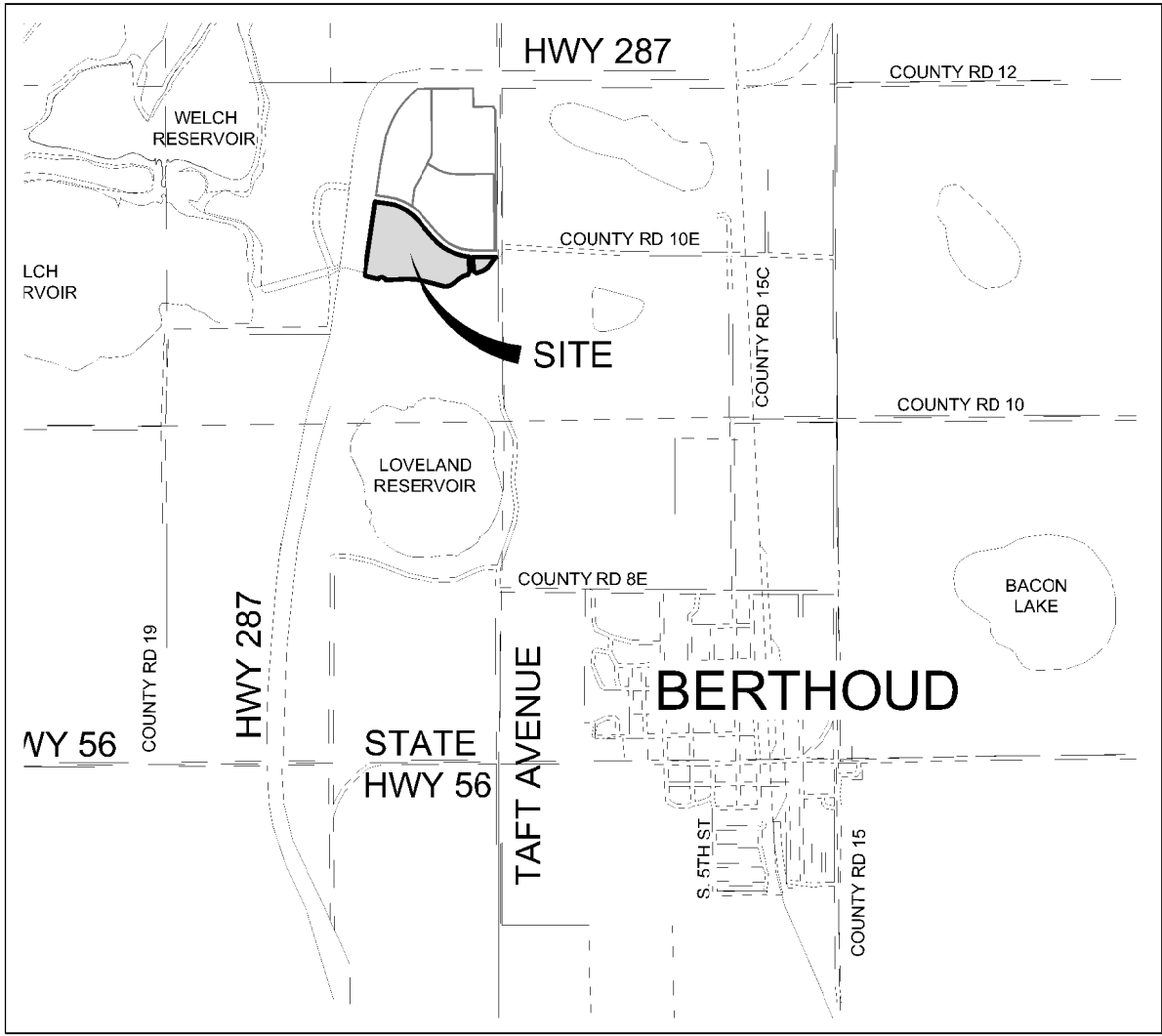
APPROVAL CERTIFICATES:

Approved by the Town of Berthoud, Colorado this ____ day of _____, 20____.

Steve Mulvihill, Mayor

The foregoing plat is approved for filing and accepted by the Town of Berthoud, Colorado this ____ day of _____, 20____.

ATTEST: _____
Alisa Darrow, Town Clerk



VICINITY MAP

SCALE: 1" = 3000'

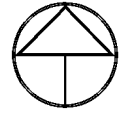


SITE ENGINEER

Ryan Banning, PE
Northern Engineering Services, Inc.
301 North Howes St. Suite 100
Fort Collins, CO 80521
(970) 221-4158

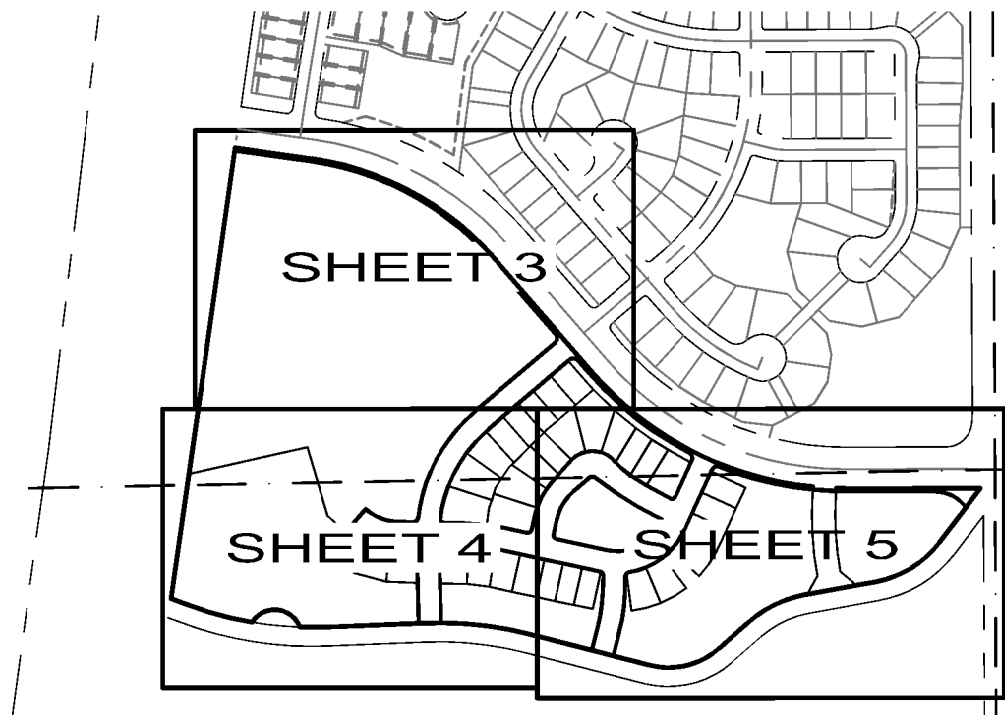
SURVEYOR

Robert C. Tessely, PLS
Northern Engineering Services, Inc.
301 North Howes St. Suite 100
Fort Collins, CO 80521
(970) 221-4158



NORTH

SHEET INDEX



NOTES:

- 1) The Basis of Bearings is East line of the Southeast Quarter of Section 10 as bearing South 00° 15' 09" East , and monumented as shown on drawing. (Assumed bearing)
- 2) All information regarding easements, right-of-way or title of record, Northern Engineering relied upon File No. 24754UTNC, dated November 27, 2018, prepared by Stewart Title Guaranty Company.
- 3) The lineal unit of measurement for this plat is U. S. Survey Feet.
- 4) The word "certify" or "certification" as shown and used hereon is an expression of professional opinion regarding the facts of the survey, and does not constitute a warranty or guaranty, expressed or implied.
- 5) Northern Engineering or the Professional Land Surveyor listed hereon, does not have the expertise to address mineral rights, and recommends the owner retain an expert to address these matters. Northern Engineering or the Professional Land Surveyor listed hereon assumes no responsibility for the mineral rights upon the subject property.
- 6) For easements created by separate document and shown hereon refer to record document for specific terms.
- 7) Not all documents listed in title commitment are plottable or definable. Owner, Client and others should refer to the title commitment and those documents listed therein for a true understanding of all rights of way, easements, encumbrances, interests and title of record concerning the subject property.
- 8) A copy of the title commitment and the documents contained therein were provided to the owner, client and those entities listed hereon for their use and review.
- 9) The title commitment used in preparation of this plat does not meet the standards of the Town of Berthoud Development Code, 30-6-107. The owner or client is responsible for providing the surveyor a current title commitment prior to final submittal. The title commitment must be current and dated no more than thirty days from the date of final plat application submittal per The Town of Berthoud Development Code.
- 10) PVREA easement could not be defined by its terms or documents provided. Easement is approximated hereon based on undimensioned GIS map and for reference only.

SURVEYOR'S STATEMENT

I, Robert C. Tessely, a Registered Professional Land Surveyor in the State of Colorado, do hereby certify that the survey of HAMMOND SUBDIVISION, FIFTH FILING was made under my supervision and the accompanying plat accurately and properly shows said subdivision and is in compliance with the Subdivision Regulations of the Town of Berthoud.

For and on Behalf of Northern Engineering Services
Robert C. Tessely
Colorado Registered Professional
Land Surveyor No. 38476

NOTICE:
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown hereon.

SECTION: 10
TOWNSHIP: 4N
RANGE: 69 W of the 6th PM

NORTHERN ENGINEERING
N
FORT COLLINS: 301 North Howes Street, Suite 100, 80521
GREELEY: 520 8th Street, 80631
970.221.4158
northernengineering.com

DATE: 8/30/19
SCALE: N.A.
REVIEWED BY: R. Tessely
PROJECT: 911-024
CLIENT: Landhuis
DRAWN BY: L. Smith

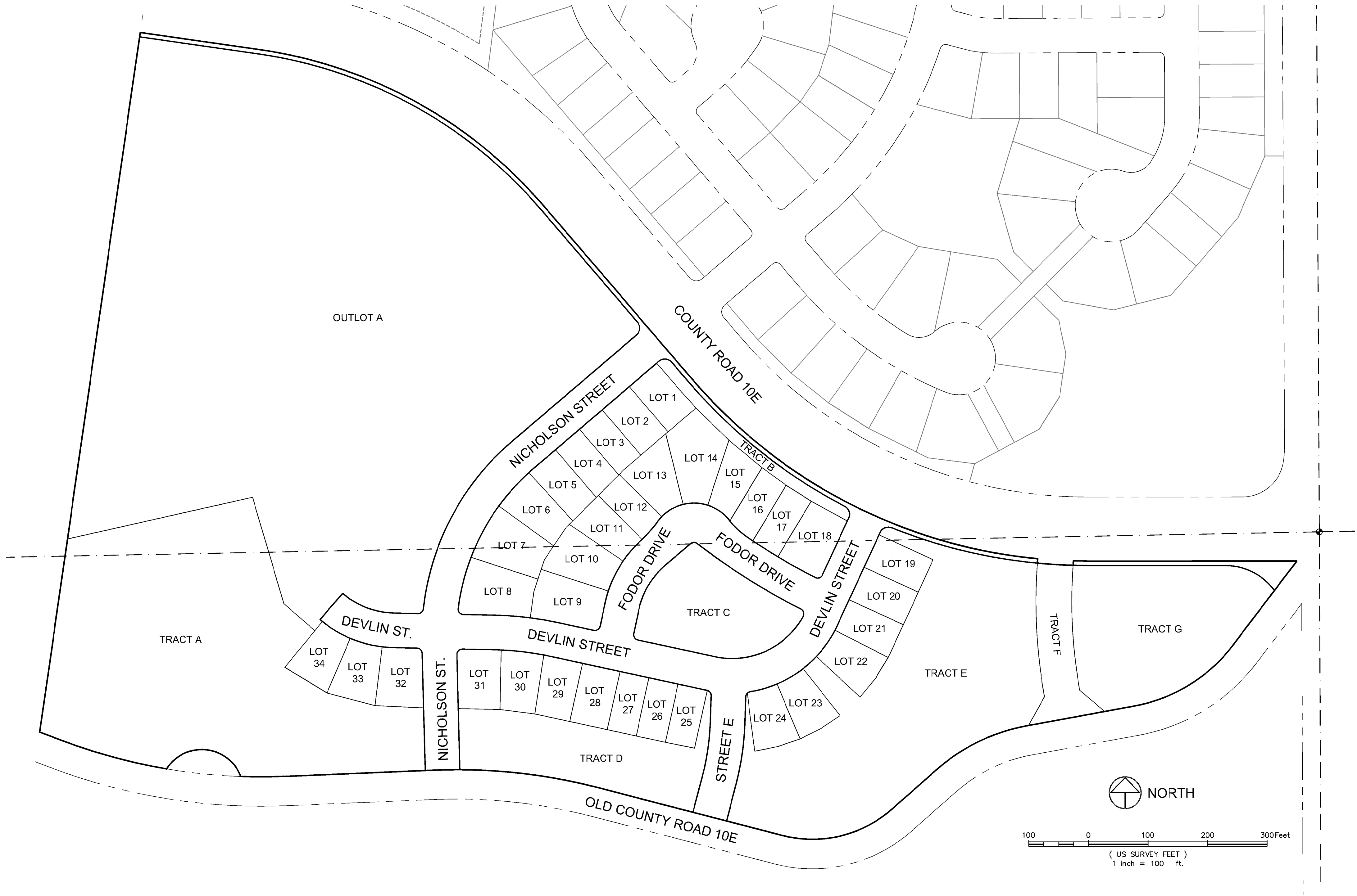
HAMMOND SUBDIVISION, FIFTH FILING
TOWN OF BERTHOUD
STATE OF COLORADO

Sheet
1
Of 5 Sheets

DRAFT
8-30-19
PRELIMINARY - NOT FOR CONSTRUCTION,
RECORDING PURPOSES OR IMPLEMENTATION

HAMMOND SUBDIVISION, FIFTH FILING

A TRACT OF LAND LOCATED IN THE EAST HALF OF SECTION 10, TOWNSHIP 4 NORTH,
RANGE 69 WEST OF THE 6TH P.M., TOWN OF BERTHOUD, COUNTY OF LARIMER, STATE OF COLORADO



CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	48°15'02"	400.00'	336.85'	S25°18'33"W	326.99'
C2	2°39'34"	400.00'	18.57'	S00°08'45"E	18.56'
C3	39°38'00"	165.00'	114.14'	N68°59'58"W	111.87'
C4	11°04'46"	520.00'	100.55'	N83°16'35"W	100.40'
C5	77°32'15"	165.00'	223.29'	S63°29'40"W	206.64'
C6	37°10'16"	165.00'	107.05'	S30°50'56"W	105.18'
C7	78°25'18"	38.00'	52.01'	S88°38'43"W	48.05'
C8	13°07'49"	1035.50'	237.30'	N58°42'33"W	236.78'
C9	41°16'02"	762.50'	549.19'	S61°11'57"E	537.40'
C10	90°00'00"	15.00'	23.56'	S04°26'04"W	21.21'
C11	43°16'25"	429.00'	324.01'	S27°47'52"W	316.36'
C12	85°01'22"	9.00'	13.36'	S48°40'21"W	12.16'
C13	39°38'00"	136.00'	94.08'	N68°59'58"W	92.21'
C14	39°38'00"	194.00'	134.20'	S68°59'58"E	131.54'
C15	87°20'26"	9.00'	13.72'	S45°08'45"E	12.43'
C16	92°39'34"	9.00'	14.55'	N44°51'15"E	13.02'
C17	11°04'46"	491.00'	94.95'	S83°16'35"E	94.80'
C18	79°33'47"	9.00'	12.50'	S37°57'18"E	11.52'
C19	12°44'57"	421.00'	93.68'	S08°12'04"W	93.49'
C20	2°50'51"	1006.50'	50.02'	N57°35'36"W	50.02'
C21	90°00'00"	15.00'	23.56'	S85°33'56"E	21.21'
C22	42°13'30"	371.00'	273.41'	N28°19'19"E	267.27'
C23	96°01'32"	9.00'	15.08'	N40°48'12"W	13.38'
C24	11°04'46"	549.00'	106.16'	N83°16'35"W	106.00'
C25	90°00'00"	9.00'	14.14'	S57°19'48"W	12.73'
C26	35°09'00"	194.00'	119.02'	S29°50'18"W	117.16'
C27	11°27'20"	225.00'	44.99'	S41°41'07"W	44.91'
C28	105°35'08"	75.00'	138.21'	S88°45'00"W	119.47'
C29	17°13'48"	149.00'	44.81'	N47°04'21"W	44.64'
C30	7°24'12"	1006.50'	130.05'	N59°23'21"W	129.96'
C31	92°11'00"	9.00'	14.48'	S70°49'03"W	12.97'
C32	87°10'27"	15.00'	22.82'	S18°51'41"E	20.68'
C33	91°55'47"	9.00'	14.44'	S17°15'52"E	12.94'
C34	73°33'46"	136.00'	174.61'	S65°28'55"W	162.88'
C35	90°00'00"	9.00'	14.14'	N32°44'12"W	12.73'
C36	37°10'16"	136.00'	88.23'	N30°50'56"E	86.69'
C37	78°25'18"	9.00'	12.32'	N88°38'43"E	11.38'
C38	11°05'07"	1064.50'	205.95'	S57°41'12"E	205.63'
C39	21°52'58"	877.50'	335.14'	S51°30'25"E	333.11'
C40	10°28'13"	165.00'	30.06'	S82°57'18"E	30.01'
C41	67°06'02"	165.00'	193.24'	N58°16'34"E	182.38'
C42	12°44'57"	479.00'	106.59'	N08°12'04"E	106.37'
C43	79°12'40"	9.00'	12.44'	N41°25'55"E	11.47'
C44	56°18'42"	194.00'	190.67'	N52°52'54"E	183.09'

CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C45	87°10'27"	15.00'	22.82'	N58°18'46"E	20.68'
C46	16°27'52"	877.50'	252.16'	S76°19'56"E	251.29'
C47	1°41'22"	371.00'	10.94'	N48°35'23"E	10.34'
C48	11°38'49"	371.00'	75.42'	N41°55'18"E	75.29'
C49	15°10'20"	371.00'	98.24'	N28°30'43"E	97.96'
C50	13°42'59"	371.00'	88.82'	N14°04'03"E	86.60'
C51	6°12'17"	549.00'	59.45'	N85°42'50"W	59.42'
C52	4°52'29"	549.00'	46.71'	N80°10'27"W	46.70'
C53	5°40'46"	194.00'	19.23'	S15°06'11"W	19.22'
C54	16°33'42"	194.00'	56.08'	S26°13'25"W	55.88'
C55	12°54'32"	194.00'	43.71'	S40°57'32"W	43.62'
C56	1°17'48"	225.00'	5.09'	S46°45'53"W	5.09'
C57	10°09'32"	225.00'	39.89'	S41°02'13"W	39.84'
C58	8°24'35"	75.00'	11.01'	S40°09'45"W	11.20'
C59	31°45'25"	75.00'	41.57'	S60°14'45"W	41.04'
C60	31°45'25"	75.00'	41.57'	N87°59'50"W	41.04'
C61	33°39'41"	75.00'	44.06'	N55°17'18"W	43.43'
C62	0°52'15"	149.00'	2.26'	N38°53'35"W	2.26'
C63	16°21'33"	149.00'	42.54'	N47°30'29"W	42.40'
C64	0°28'55"	1006.50'	8.47'	N55°55'43"W	8.47'
C65	4°04'26"	1006.50'	71.57'	N61°03'14"W	71.55'
C66	2°26'39"	194.00'	8.28'	N25°56'53"E	8.28'
C67	15°56'17"	194.00'	53.97'	N35°08'21"E	53.79'
C68	8°52'23"	194.00'	30.04'	N47°32'41"E	30.01'
C69	15°08'11"	194.00'	51.25'	N59°32'58"E	51.10'
C70	13°55'11"	194.00'	47.13'	N74°04'39"E	47.02'
C71	35°26'55"	9.00'	5.57'	N53°18'48"E	5.48'
C72	43°45'45"	9.00'	6.87'	N23°42'28"E	6.71'
C73	74°13'48"	9.00'	11.66'	S35°17'19"E	10.86'
C74	5°20'00"	9.00'	0.84'	S75°04'12"E	0.84'
C75	1°21'26"	491.00'	11.63'	S78°24'55"E	11.33'
C76	8°21'50"	491.00'	71.68'	S83°16'33"E	71.61'
C77	1°21'30"	491.00'	11.64'	S88°08'13"E	11.34'
C78	5°37'50"	194.00'	19.06'	S96°00'03"E	19.06'
C79	16°16'57"	194.00'	55.13'	S75°02'40"E	54.95'
C80	16°16'57"	194.00'	55.13'	S58°45'43"E	54.95'
C81	2°39'19"	940.00'	43.56'	S88°56'08"W	43.56'
C82	14°17'51"	940.00'	234.56'	N82°35'17"W	233.98'
C83	41°16'02"	762.50'	549.19'	S81°11'57"E	537.40'
C84	12°44'57"	450.00'	100.13'	S08°12'04"W	99.93'
C85	1°32'00"	877.50'	23.48'	S89°14'57"E	23.48'
C86	54°32'33"	100.00'	95.19'	S82°44'41"E	91.64'
C87	13°52'50"	820.00'	198.66'	S03°27'37"E	198.17'
C88	14°02'27"	870.00'	213.20'	N03°27'37"W	212.67'

LAND USE TABLE						
PARCEL	DESCRIPTION/LAND USE	AREA	PERCENT	ENCUMBRANCES	INTENDED OWNERSHIP & MAINTAINANCE BY	
TRACT A	OPEN SPACE	186,232 S.F.	4.275 AC.	12.72%	Drainage, Utility & Pedestrian Access Easement	Metro District or HOA
TRACT B	OPEN SPACE	8,056 S.F.	0.185 AC.	0.55%	Drainage & Utility Easement	Metro District or HOA
TRACT C	OPEN SPACE	34,525 S.F.	0.793 AC.	2.36%	Drainage, Utility & Pedestrian Access Easement	Metro District or HOA
TRACT D	OPEN SPACE	43,200 S.F.	0.992 AC.	2.95%	Drainage, Utility & Pedestrian Access Easement	Metro District or HOA
TRACT E	OPEN SPACE	131,396 S.F.	3.016 AC.	8.98%	Drainage, Utility & Pedestrian Access Easement	Metro District or HOA
TRACT F	OPEN SPACE	17,109 S.F.	0.393 AC.	1.17%	Drainage, Utility & Pedestrian Access Easement	Metro District or HOA
TRACT G	OPEN SPACE	61,580 S.F.	1.414 AC.	4.21%	Drainage, Utility & Pedestrian Access Easement	Metro District or HOA
OUTLOT A	FUTURE DEVELOPMENT	587,235 S.F.	13.481 AC.	40.12%		Metro District or HOA
ROW	PUBLIC USE	167,576 S.F.	3.847 AC.	11.45%	Right of Way	Town of Berthoud
LOTS (34)	PRIVATE RESIDENCE	226,915 S.F.	5.209 AC.	15.50%	Residential	Property Owner
TOTAL		1,463,824 S.F.	33.605 AC.	100.00%		

LINE TABLE		
LINE	LENGTH	BEARING
L1	20.11'	S39°22'46"W

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SECTION:
10

TOWNSHIP:
4N

RANGE:
69 W of the 6th PM

NORTHERN
ENGINEERING

970.221.4158
nortnereng.com

FORT COLLINS, 301 North Hovea Street, Suite 100, 80521
GRIFFLEY, 520 8th Street, 80801

PROJECT:
911-024

CLIENT:
Landhuis

DRAWN BY:
L. Smith

DATE:
8/30/19

SCALE:
1"=100'

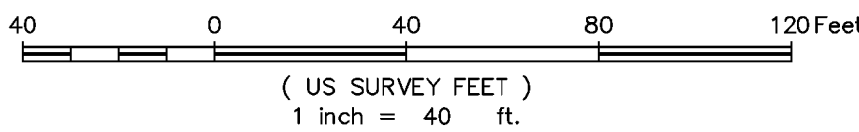
REVIEWED BY:
R. Tessey

HAMMOND SUBDIVISION, FIFTH FILING

TOWN OF BERTHOUD

STATE OF COLORADO

A TRACT OF LAND LOCATED IN THE EAST HALF OF SECTION 10, TOWNSHIP 4 NORTH,
RANGE 69 WEST OF THE 6TH P.M., TOWN OF BERTHOUD, COUNTY OF LARIMER, STATE OF COLORADO



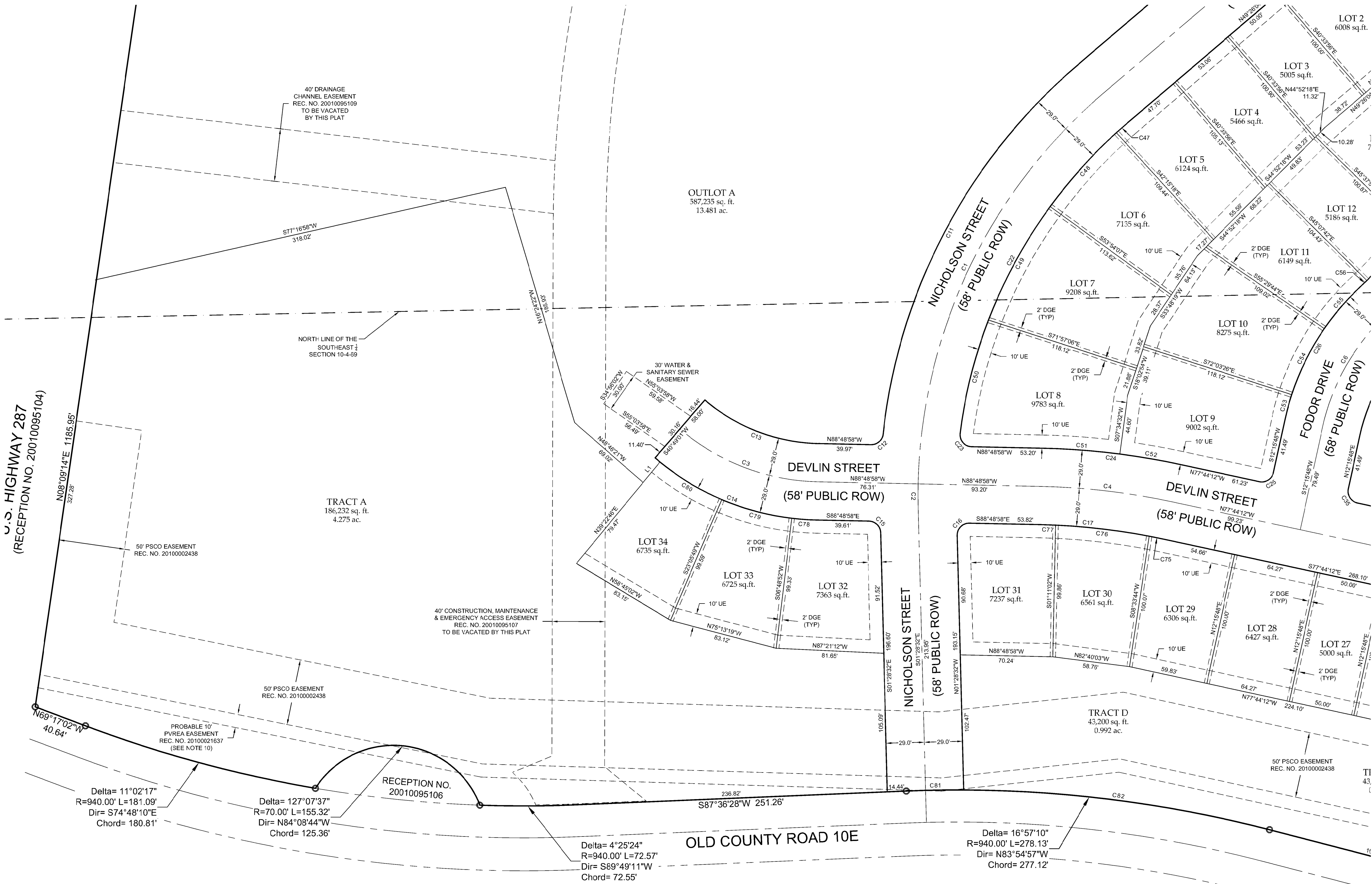
PRELIMINARY

Robert C. Tessely
Registered Professional Land Surveyor
Colorado Registration No. 38470
For and on behalf of Northern Engineering Services, Inc.

Sheet
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Of 5 Sheets

HAMMOND SUBDIVISION, FIFTH FILING
A TRACT OF LAND LOCATED IN THE EAST HALF OF SECTION 10, TOWNSHIP 4 NORTH,
RANGE 69 WEST OF THE 6TH P.M., TOWN OF BERTHOUD, COUNTY OF LARIMER, STATE OF COLORADO

SEE SHEET 3



SEE SHEET 5

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SECTION:
10
TOWNSHIP:
4N
RANGE:
69 W of the 6th PA

**NORTHERN
ENGINEERING**
FORT COLLINS, CO 80501
970.221.4158
nortnereng.com

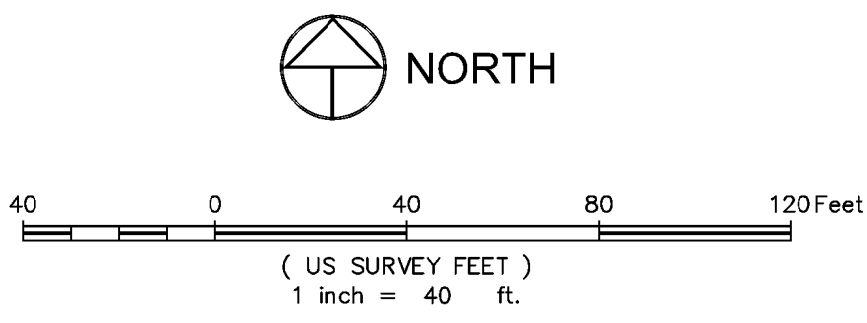
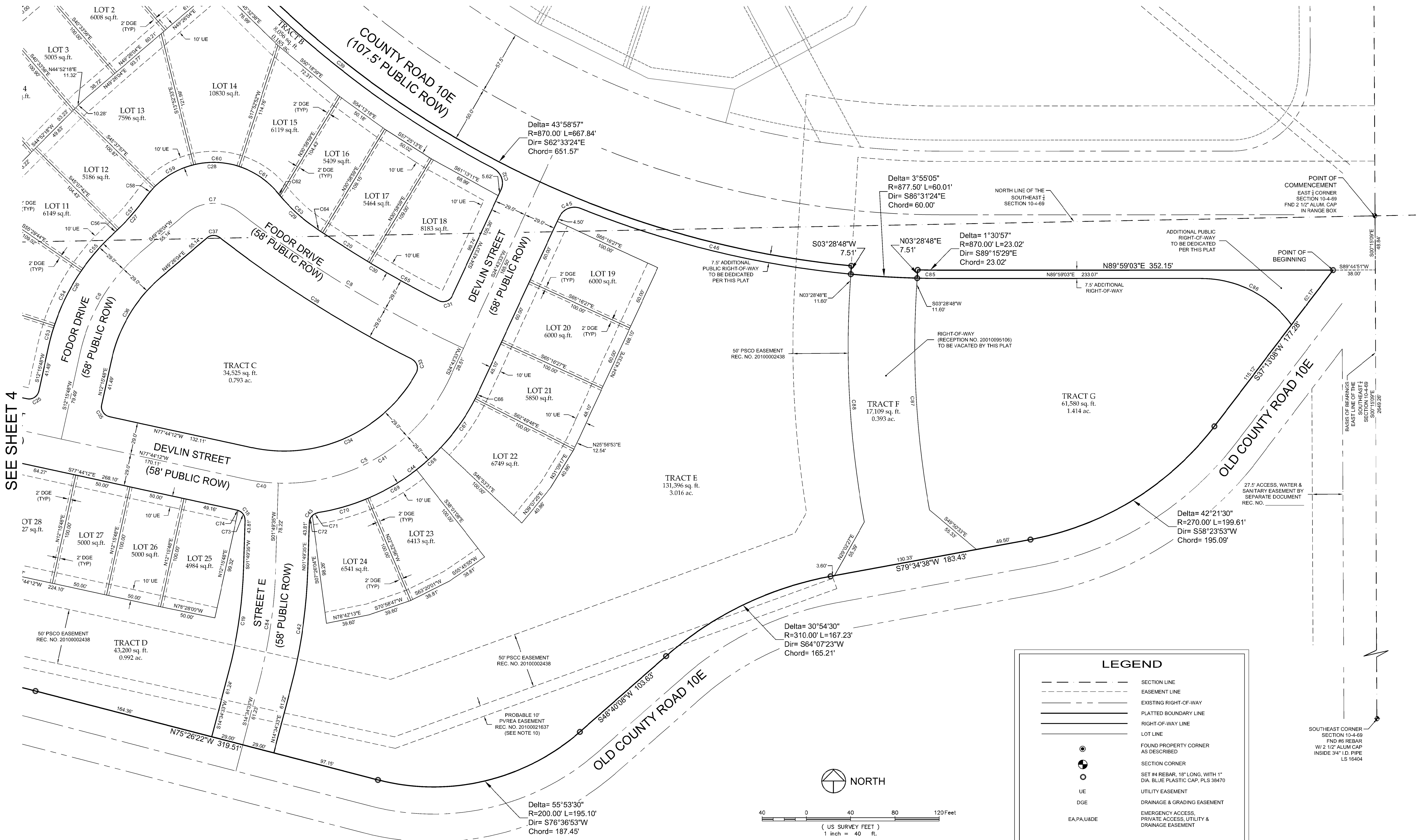
PROJECT:
911-024
CLIENT:
Landhuis
DATE:
8/30/19
SCALE:
1"=40'
DRAWN BY:
L. Smith
REVIEWED BY:
R. Tessler

HAMMOND SUBDIVISION, FIFTH FILING
TOWN OF BERTHOUD
STATE OF COLORADO

Sheet
4
Of 5 Sheets

PRELIMINARY
Robert C. Tessler
Registered Professional Land Surveyor
Colorado Registration No. 38470
For and on behalf of Northern Engineering Services, Inc.

HAMMOND SUBDIVISION, FIFTH FILING
A TRACT OF LAND LOCATED IN THE EAST HALF OF SECTION 10, TOWNSHIP 4 NORTH,
RANGE 69 WEST OF THE 6TH P.M., TOWN OF BERTHOUD, COUNTY OF LARIMER, STATE OF COLORADO



LEGEND	
	SECTION LINE
	EASEMENT LINE
	EXISTING RIGHT-OF-WAY
	PLATTED BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	FOUND PROPERTY CORNER AS DESCRIBED
	SECTION CORNER
	SET #4 REBAR, 18" LONG, WITH 1" DIA. BLUE PLASTIC CAP, PLS 38470
	UTILITY EASEMENT
	DRAINAGE & GRADING EASEMENT
	EMERGENCY ACCESS, PRIVATE ACCESS, UTILITY & DRAINAGE EASEMENT

PRELIMINARY
Robert C. Tessey
Registered Professional Land Surveyor
Colorado Registration No. 38470
For and on behalf of Northern Engineering Services, Inc.

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SECTION: 10
TOWNSHIP: 4N
RANGE: 69 W of the 6th PM

NORTHERN ENGINEERING
FORT COLLINS: 301 North Hovea Street, Suite 100, 80521
GREELEY: 620 8th Street, 80631
970.221.4158
northernengr.com

PROJECT: 911-024	DATE: 8/30/19
CLIENT: Landhuis	SCALE: 1"=40'
DRAWN BY: L. Smith	REVIEWED BY: R. Tessey

HAMMOND SUBDIVISION, FIFTH FILING
TOWN OF BERTHOUD
STATE OF COLORADO

Sheet
5
Of 5 Sheets

HAMMOND FIFTH FILING

LANDSCAPE PLAN

Legal Description:

A TRACT OF LAND LOCATED IN THE EAST HALF OF SECTION 10, TOWNSHIP 4 NORTH,
RANGE 69 WEST OF THE 6TH P.M., TOWN OF BERTHOUD, COUNTY OF LARIMER, STATE OF COLORADO

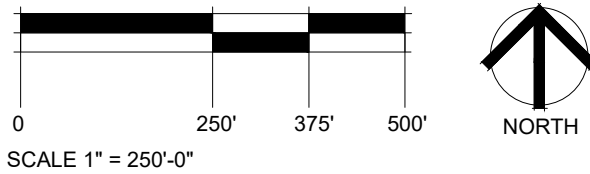
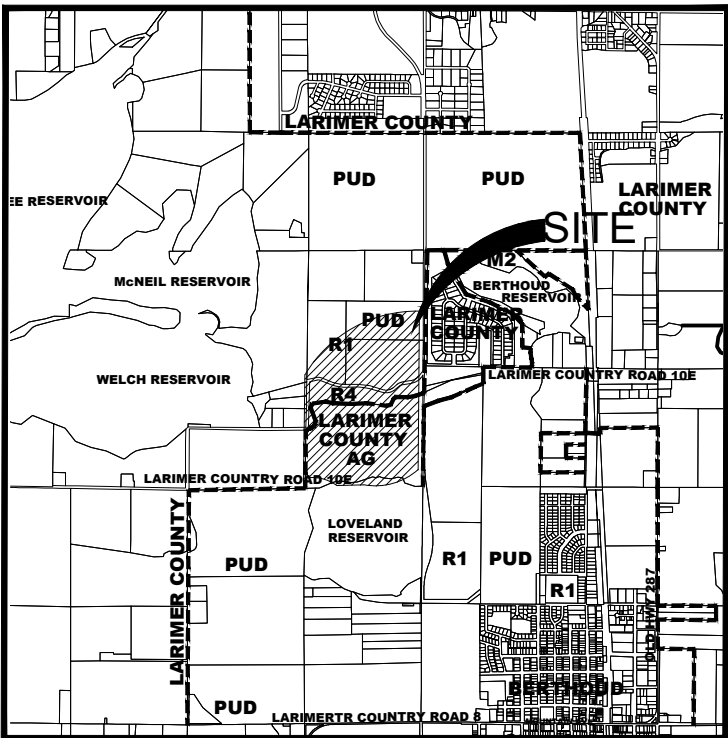
Landscape Notes

- LANDSCAPE AREAS SHALL BE MAINTAINED, INCLUDING MOWING, WATERING AND FERTILIZING BY CONTRACTOR, UP TO FINAL ACCEPTANCE. AT SUCH TIME METRO DISTRICT WILL BE RESPONSIBLE FOR ALL MAINTENANCE. LANDSCAPE AND IRRIGATION WILL BE WARRANTED FOR ONE (1) FULL YEAR AFTER FINAL ACCEPTANCE. ALL NATIVE GRASS AREAS MAY NOT EXCEED 6" IN HEIGHT.
- ANY DISCREPANCIES WITH THE DRAWINGS AND SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, EASEMENTS, PROPERTY LINES, ETC. PRIOR TO STARTING WORK. SHOULD ANY DISCREPANCIES, OMISSIONS, OR ERRORS OCCUR, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES 48 HRS. PRIOR TO ANY EXCAVATION OR PLANTING.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- STREET AND ORNAMENTAL TREES SHALL BE PLANTED NO CLOSER THAN FORTY (40) FEET AND FIFTEEN (15) FEET RESPECTIVELY FROM STREET LIGHTS. NO TREES SHALL BE PLANTED WITHIN TEN (10) FEET FROM WATER AND SEWER LINES, FOUR (4) FEET FROM GAS, TELEPHONE AND ELECTRIC UTILITIES, FIVE (5) FEET FROM STORM SEWER LINES, AND TEN (10) FEET FROM ANY DRIVEWAY.
- MINIMUM CLEARANCE OF THREE (3) FEET ON EACH SIDE OF FIRE DEPARTMENT CONNECTION (FDC). NO VEGETATION OTHER THAN TURF OR GROUND COVERS PLANTED IN FRONT OF FDC.
- ANY OBJECT WITHIN THE SIGHT DISTANCE EASEMENT MORE THAN 30 INCHES ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET SHALL CONSTITUTE A SIGHT OBSTRUCTION, AND SHALL BE REMOVED OR LOWERED. SUCH OBJECTS INCLUDE BUT ARE NOT LIMITED TO BERMS, BUILDINGS, PARKED VEHICLES ON PRIVATE PROPERTY, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY CABINETS, OR TALL CROPS. MAILBOX CLUSTERS MUST BE INSTALLED A MINIMUM OF 2 FEET FROM BACK OF WALK AND NOT CAUSE ANY SIGHT OBSTRUCTION. IN NO CASE SHALL ANY PERMANENT OBJECT ENCRROACH INTO THE LINE-OF-SIGHT OF ANY PART OF THE SIGHT-DISTANCE TRIANGLE. STREET TREES REQUIRED ARE EXCEPTED FROM THIS REQUIREMENT. TREES ARE PERMITTED IF PRUNED UP TO 8 FEET. IN ADDITION TO THE SIGHT DISTANCE TRIANGLE REQUIREMENTS, A CLEAR SPACE ZONE IS REQUIRED WITHIN ALL CURB RETURNS (MEASURED FROM POINT OF CURB TO POINT OF CURB RETURN) WHERE NO TREES, SHRUBS, AESTHETIC STRUCTURES/FEATURES, MONUMENT SIGNS, OR OBJECTS THAT HAVE THE POTENTIAL TO HINDER DRIVER VISIBILITY, AND/OR PEDESTRIAN AND BICYCLE SAFETY, ARE ALLOWED. SEE LARIMER COUNTY URBAN AREA STREET STANDARDS SECTION 7.4.1.C. FOR ADDITIONAL INFORMATION.
- IF TREES OR SHRUBS ARE LOCATED ON TOP OF FIELD VERIFIED UTILITIES, CONTRACTOR SHALL NOTIFY OWNER BEFORE ANY DIGGING HAS COMMENCED. VERIFY WITH OWNER IF AND WHICH SHRUBS/TREES SHALL BE TAKEN OUT OF PROJECT/CONTRACT.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- EXCAVATED MATERIAL TO BE USED AS FILL WILL HAVE ALL ROCKS, DEBRIS, WASTE MATERIAL, FROZEN MATERIAL, VEGETATION LARGER THAN 3" IN ANY DIMENSION REMOVED BEFORE PLACEMENT AND COMPACTION OF SOIL.
- PRIOR TO FINE GRADING, DURA-TURF TALL FESCUE SOD OR NATIVE SEEDED AREAS OR PLANTING BEDS, SHALL BE THOROUGHLY LOOSENED AND TILLED TO A 6" DEPTH. REMOVE ALL UNSUITABLE TOPSOIL, INCLUDING ALL ROCKS LARGER THAN 3 INCHES IN ANY DIRECTION. ALL CONCRETE, TRASH, DEBRIS, WEEDS, ROOTS AND OTHER WASTE MATERIALS. AFTER THAT TIME CLASS I OR II, EXCLUDING MANURE, SHALL THEN BE THOROUGHLY TILLED AND INCORPORATED TO A MINIMUM 6" DEPTH IN THESE AREAS AT THE MINIMUM OF RATE OF 3 CU. YDS. / 1,000 SQ.F.T.
- UNIFORMLY COMPACT AND FINE GRADE THESE SOD / GRASS AREAS AND PLANTING BEDS TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. CUT OUT SOFT SPOTS, FILL IN LOW SPOTS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED GRADE TOLERANCES.
- ONCE COMPACTED AND FINE GRADED ALL ROCKS, DEBRIS, WASTE MATERIAL AND VEGETATION MATERIAL LARGER THAN 1/2" WILL BE RAKED FROM THE SURFACE AND REMOVED FROM SITE.
- SOD TO BE 100% COLORADO GROWN DURA-TURF TALL FESCUE BLEND SPECIFICALLY GROWN FOR LOW WATER LAWN APPLICATIONS WITH MINIMUM THREE (3) IMPROVED VARIETIES, HAVING A HEALTHY VIGOROUS ROOT SYSTEM. ONCE TURF IS LAID IT SHALL BE PROPERLY ROLLED, COMPACTED AND PUSHED TOGETHER TO ELIMINATE ANY GAPS BETWEEN ROLL EDGES. APPLY FERTILIZER IN THESE AREAS PER SOD FARM'S RECOMMENDATIONS.
- ALL PLANT MATERIALS ARE SIZED AND OUTLINED IN PLANT LIST. ALL PLANTS TO BE PLANTED IN AMENDED SOIL AND STAKED AS SHOWN IN DETAILS. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE COLORADO NURSERY ACT FOR NUMBER ONE GRADE.
- IF PLANTS ARE IN NEED OF REPLACEMENT DUE TO DECLINING HEALTH, DISEASE, OR DEATH, THE PLANTS MUST BE REPLACED WITH THE ORIGINAL SPECIES UNLESS APPROVED BY THE TOWN.
- CHANGES IN PLANT SPECIES OF PLANT LOCATIONS FROM WHAT IS LISTED ON THE LANDSCAPE PLAN WILL REQUIRE THE APPROVAL OF THE TOWN PRIOR TO INSTALLATION OR REPLACEMENT. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES SHALL BE PROVIDED.
- ALL TREES AND SHRUBS TO BE BALLED AND BURLAPPED, OR CONTAINERIZED.
- ALL PLANT MATERIAL SHALL HAVE ALL WIRE, TWINE, BASKETS, BURLAP, AND ALL OTHER NON-BIODEGRADABLE CONTAINMENT MATERIAL REMOVED FROM THE TRUNK AND/OR ROOT BALL OF THE PLANT, PRIOR TO PLANTING.
- ALL SHRUB BEDS SHALL HAVE MINIMUM 4" DEPTH SHREDDED CEDAR MULCH - NATURAL COLOR AND/OR WASHED SMOOTH COBBLE. A CONTINUOUS LAYER OF TYPAR LANDSCAPE FABRIC OR APPROVED EQUAL SHALL BE INSTALLED IN ALL COBBLE AREA WITH 6" OVERLAP AT SEAMS WITH 4" STAPLES 4" O.C. IN ALL DIRECTIONS.
- EDGING BETWEEN GRASS TYPES AND SHRUB BEDS / ROCK COBBLE SHALL BE HEAVY DUTY STEEL EDGER MIN. 3" x 4" WITH ROUNDED TOP AND PLASTIC CAP AND SHALL BE SET LEVEL WITH THE TOP OF THE ADJACENT SOD. NO EDGING SHALL BE USED BETWEEN CEDAR MULCH AND COBBLE TRANSITIONS.
- LANDSCAPING WITHIN THE FRONT YARD SETBACK OF RESIDENTIAL PROPERTIES MUST BE INSTALLED WITHIN ONE (1) YEAR OF CERTIFICATION OF OCCUPANCY.
- MAINTENANCE OF ALL COMMON AREA LANDSCAPING IS THE RESPONSIBILITY OF THE METRO DISTRICT.
- ALL TURF GRASSES PLANTED IN PUBLIC R.O.W. MUST BE SOD
- BUILDER WILL BE RESPONSIBLE FOR INSTALLATION OF ROW TREES ABUTTING FRONT LOT LINES. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL COMMON AREA AND PERIMETER LANDSCAPING.
- FINAL LANDSCAPE PLANS SHALL BE IN COMPLIANCE WITH THE WATER POLICY IN EFFECT AT THE TIME OF FDP APPROVAL.

General Notes:

- ALL SIGNS SHALL BE REQUIRED TO APPLY FOR SIGN PERMIT.
- PROPOSED GRADES SHALL MATCH OR IMPROVE EXISTING GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING WHILE PROVIDING A SMOOTH TRANSITION BETWEEN ALL ADJACENT UNDISTURBED GRADES AND PROPOSED GRADES.
- JOB SITE TO BE KEPT CLEAN AT ALL TIMES AND CONSTRUCTION AREAS ARE TO BE MAINTAINED FOR SAFETY.
- ALL SOILS DISTURBED ADJACENT TO WORK AREA, INCLUDING AREAS OUTSIDE OF CONSTRUCTION LIMITS, DUE TO NEW CONSTRUCTION ARE TO BE REGRADED AND SURFACE CONDITIONS REPAIRED EQUIVALENT TO THAT CONDITION PRIOR TO START OF WORK PER THE NATIVE SEED MIX NOTES THIS SHEET.
- PROTECT EXISTING SURFACES AND SOILS, BOTH INSIDE AND OUTSIDE OF CONSTRUCTION LIMITS, DURING CONSTRUCTION. IF GRADES, CONCRETE OR ASPHALT ARE DAMAGED DUE TO CONSTRUCTION OPERATIONS OR WEATHER THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO THAT EQUIVALENT TO EXISTING CONDITIONS AT NO EXPENSE TO THE OWNER / TOWN.
- CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
- THE CONTRACTOR SHALL NOT PURPOSEFULLY PROCEED WITH ANY CONSTRUCTION PER PLANS PROVIDED WHEN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT WERE NOT CONSIDERED OR CHANGED AFTER PLANS WERE SUBMITTED. CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S REPRESENTATIVE AND THE TOWN IF SITUATION ARISES AND REVISIONS ARE NECESSARY.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND OTHER POLLUTANTS FROM ENTERING ANY STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, ETC., DURING THE DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE AND EXPENSE FOR THE CORRECTION OF ANY ADVERSE IMPACTS TO THE STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, WETLANDS ETC., RESULTING FROM THE WORK DONE AS PART OF THIS PROJECT/CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE PRIOR TO BIDDING AND CONSTRUCTION, OF BECOMING AWARE OF ALL EXISTING AND PROPOSED UTILITIES, PIPES, STRUCTURES, ETC. CALL UNCC THREE DAYS BEFORE SCHEDULED WORK AT 811 OR 1-800-922-1987.
- RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH SECTION 30-2-116 OF THE BERTHOUD MUNICIPAL CODE.

Vicinity Map:



Landscape Sheet Index:

SHEET 1	COVER SHEET
SHEET 2	NOTES & DETAILS
SHEET 3	LANDSCAPE PLAN
SHEET 4	LANDSCAPE PLAN
SHEET 5	LANDSCAPE PLAN
SHEET 6	SITE DETAILS
SHEET 7	HYDROZONE PLAN (TO BE PROVIDED AT FINAL)

REVISIONS	DATE
Staff Comments	4.16.19
Staff Comments	7.11.19
Staff Comments	8.30.19
Staff Comments	9.27.19

Plant List

KEY	QTY	RATIO	SCIENTIFIC/COMMON NAME	HEIGHT	WIDTH	SIZE	NOTES
110 SHADE/CANOPY TREES -							
	12	6.7%	Catalpa speciosa CATALPA	60'	50'	2.0" cal. BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
	6	3.9%	Populus angustifolia COTTONWOOD, NARROWLEAF	50'	30'	2.0" cal. BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
	17	10.7%	Gymnocladus dioicus COFFEETREE, KENTUCKY	60'	50'	2.0" cal. BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
	14	9.6%	Celtis occidentalis HACKBERRY, WESTERN	60'	50'	2.0" cal. BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
	12	6.7%	Gleditsia triacanthos inermis 'Shademaster' HONEYLOCUST, SHADEMASTER	40'	40'	2.0" cal. BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
	16	10.7%	Tilia americana 'Redmond' LINDEN, REDMOND	50'	40'	2.0" cal. BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
	8	6.2%	Acer platanoides 'Fairview' MAPLE, FAIRVIEW	40'	30'	2.0" cal. BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
	5	3.9%	Quercus macrocarpa OAK, BUR	60'	60'	2.0" cal. BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
	20	12.9%	Quercus rober OAK, ENGLISH	50'	40'	2.0" cal. BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
19 EVERGREEN TREES -							
	10	5.6%	Pseudotsuga menziesii FIR, DOUGLAS	50'	20'	6' BB	FULL SPECIMEN, EVENLY AND WELL BRANCHED W/ STRAIGHT TRUNK & TOP LEADER
	9	7.3%	Picea pungens 'Bakeri' SPRUCE, BAKERI	35'	15'	6' BB	FULL SPECIMEN, EVENLY AND WELL BRANCHED W/ STRAIGHT TRUNK & TOP LEADER
29 ORNAMENTAL TREES -							
	8	4.5%	Malus 'Royal Raindrops' CRABAPPLE, ROYAL RAINDROPS	15'	15'	1.5" cal. BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
	12	6.7%	Syringa reticulata JAPANESE LILAC TREE	25'	20'	1.5" cal. BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
	3	2.8%	Quercus gambelii OAK, GAMBEL	20'	12'	Multi-Stem	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
	6	3.9%	Amelanchier x grandiflora 'Autumn Brilliance' SERVICEBERRY, AUTUMN BRILLIANCE	20'	Multi-Stem		BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
112 DECIDUOUS SHRUBS -							
	3	---	Buddleia davidii 'Nanho Purple' BUTTERFLY BUSH, COMPACT PURPLE	5'	5'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
	22	---	Cornus baileyi DOGWOOD, REDTWIG	4'	4'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
	21	---	Syringa meyeri 'Palibin' LILAC, DWARF KOREAN	4'	4'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
	12	---	Prunus besseyi 'Pawnee Buttes' SAND CHERRY, WESTERN PAWNEE BUTTES	30"	6'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
	54	---	Caryopteris x clandonensis SPIREA, BLUE MIST	4'	4'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
398 PERENNIALS/GRASSES -							
	46	---	Monarda 'Cambridge Scarlet' BEE BALM, RED	3'	1.5'	1 Gallon	WELL ROOTED
	77	---	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	2'	2'	1 Gallon	WELL ROOTED
	84	---	Hemerocallis 'Autumn Red' DAYLILY, RED	2'	2'	1 Gallon	WELL ROOTED
	18	---	Linum perenne FLAX, BLUE	2'	1.5'	1 Gallon	WELL ROOTED
	25	---	Helichotrichon sempervirens GRASS, AVENA	3'	2'	1 Gallon	WELL ROOTED
	27	---	Bouteloua gracilis 'Blonde Ambition' GRASS, BLONDE AMBITION GRAMA	3'	2'	1 Gallon	WELL ROOTED
	14	---	Calamagrostis acutiflora 'Karl Foerster' GRASS, FEATHER REED	5'	2'	1 Gallon	WELL ROOTED
	39	---	Panicum virgatum 'Heavy Metal' GRASS, HEAVY METAL BLUE SWITCH	3'	18"	1 Gallon	WELL ROOTED
	39	---	Sorghastrum nutans GRASS, INDIAN	5'	4'	1 Gallon	WELL ROOTED
	29	---	Agastache rupestris HYSSOP, SUNSET	3'	3'	1 Gallon	WELL ROOTED
			SHOWY MILKWEED	4'	3'	1 Gallon	WELL ROOTED

IN ANY INSTANCE WHERE THE PLANT LIST OR LANDSCAPE QUANTITIES DO NOT MATCH THE PLAN, REQUIRED PLANTS/QUANTITIES SHALL BE PER THE PLAN. CONTRACTOR SHALL VERIFY QUANTITIES.

Irrigation Notes

- ALL AREAS DISTURBED BY CONSTRUCTION WILL BE RE-VEGETATED AND IRRIGATED WITH A PERMANENT UNDERGROUND IRRIGATION SYSTEM, WITH THE EXCEPTION OF FUTURE DEVELOPMENT TRACTS OR AS DEFINED BY THE DEVELOPMENT AGREEMENT.
- ENTIRE IRRIGATION SYSTEM AND ASSOCIATED IRRIGATION TAP(S) TO BE SIZED, DESIGNED AND BUILT BY CONTRACTOR. IRRIGATION CONTRACTOR SHALL VERIFY P.S.I. AND GPM AVAILABLE. SYSTEM SHALL BE DESIGNED TO MEET THE AVAILABLE P.S.I. AND GPM. IF NECESSARY CONTACT THE WATER DISTRICT PRIOR TO BEGINNING DESIGN TO OBTAIN AVAILABLE PRESSURES.
- ALL INDICATED TURF GRASS AREAS ARE TO BE IRRIGATED BY A PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TURF AREAS LESS THAN 25 FEET IN WIDTH ARE TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND AREAS GREATER THAN 25 FEET SHALL USE A ROTOR POP-UP SPRAY SYSTEM.
- ALL TREES, SHRUBS AND PERENNIALS OUTSIDE OF IRRIGATED TURF GRASS AREAS, ARE TO BE IRRIGATED WITH A PERMANENT DRIP IRRIGATION SYSTEM.
- IRRIGATION SYSTEM WITH SMART CONTROLLER. RAIN SENSOR AND NECESSARY SLEEVING WILL BE DESIGNED AND BUILT BY CONTRACTOR AND ADJUSTED TO A LOW WATER REQUIREMENT, BASED ON THE NEEDS OF SELECTED PLANT MATERIAL.
- QUICK COUPLERS SHALL BE PROVIDED AT EACH POINT OF CONNECTION AND AT REGULAR SPACING ALONG THE IRRIGATION MAINLINE. SPACING OF QUICK COUPLERS SHALL NOT EXCEED 200 FEET. LOCATE QUICK COUPLING VALVE AT A POINT OF EASY ACCESS.
- FINAL LOCATION OF IRRIGATION HEADS MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING. HEAD LOCATION SHALL BE COORDINATED IN THE FIELD WITH EXISTING SITE CONDITIONS AND PLANT MATERIAL.
- ALL IRRIGATION TRENCHES SHALL BE PROPERLY WATERED AND COMPACTED TO AVOID FUTURE SETTLING. ANY SETTLING DURING WARRANTY PERIOD WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- COORDINATE ALL IRRIGATION WORK WITH EXISTING UTILITIES AND RESPECTIVE TRADES.
- ALL IRRIGATION SLEEVING SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVING LOCATIONS WITH GENERAL CONTRACTOR. ALL IRRIGATION SLEEVING TO BE STAKED IN THE FIELD OR LOCATED ON DIMENSIONED 'AS-BUILT' DRAWING BY THE GENERAL CONTRACTOR TO ALLOW FUTURE USE AND LOCATION.

Native Grass Seed Mix

- SEED SHALL BE AS MANUFACTURED BY ARKANSAS VALLEY SEED SOLUTIONS, 4625 COLORADO BOULEVARD, DENVER, CO 80216, (877) 957-3337.
- SEED SHALL BE A MIXTURE THAT MATCHES THE FOLLOWING:

IRRIGATED FOOTHILLS MIX		
COMMON NAME	%	LBS P.L.S /ACRE
ANNUAL RYEGRASS	20%	
SLENDER WHEATGRASS	15%	
CRESTED WHEATGRASS	12%	
MOUNTAIN BROME	10%	
HARD FESCUE	10%	
CANADA BLUEGRASS	10%	
SIDECAT'S GRAMA	6%	
BIG BLUESTEM	5%	
BLUE GRAMA (COATED)	5%	
SAND DROPSEED	1%	

- DRILLED APPLICATION RATE: 25.0 LBS (PLS) PER ACRE (0.57 LBS / 1000 SF)
- IF AREAS OF TEMPORARY IRRIGATION ARE AGREED TO PER THE DEVELOPMENT AGREEMENT, ADEQUATE TEMPORARY IRRIGATION BY WATER TRUCK, OR BY OTHER ACCEPTABLE MEANS, WILL BE PROVIDED BY CONTRACTOR FOR THE WATERING, ESTABLISHMENT AND MAINTENANCE OF THESE SEEDED AREAS. NATIVE GRASSES SHALL BE MAINTAINED IN A CONDITION OF ACCEPTABLE HEIGHT, FREE OF WEEDS, TRASH AND DEBRIS, AND SHALL NOT REPRESENT A FIRE HAZARD NOR BECOME A NUISANCE SITE FOR WATER OR WIND EROSION.
- FOR ALL NATIVE GRASS MIX AREAS, THE DEVELOPER SHALL BE RESPONSIBLE FOR ESTABLISHMENT OF A COMPLETE, WEED FREE STAND OF GRASS PRIOR TO TURNING OVER MAINTENANCE TO THE WESTHAVEN METRO DISTRICT.

MULCH IN ALL NATIVE SEED AREAS:

- IMMEDIATELY FOLLOWING THE RAKING OPERATION, ADD STRAW MULCH TO THE SEEDED AREAS.
- APPLY STRAW MULCH AT A MINIMUM OF 1.5 TONS PER ACRE OF AIR DRY MATERIAL. SPREAD STRAW MULCH UNIFORMLY OVER THE AREA WITH MECHANICAL MULCH SPREADER / CRIMPER. DO NOT MULCH WHEN WIND VELOCITY EXCEEDS 10 MPH.
- WHEREVER THE USE OF CRIMPING EQUIPMENT IS PRACTICAL, PLACE MULCH IN THE MANNER NOTED ABOVE AND ANCHOR IT INTO THE SOIL. USE A DISC SUCH AS A MULCH TILLER, WITH A FLAT SERRATED DISC AT LEAST ¾ INCH IN THICKNESS, HAVING DULL EDGES, AND SPACE NO MORE THAN 9 INCHES APART, WITH DISCS OF SUFFICIENT DIAMETER TO PREVENT THE FRAME OF THE EQUIPMENT FROM DRAGGING THE MULCH. ANCHOR MULCH A MINIMUM DEPTH OF 2 INCHES AND ACROSS THE SLOPE WHERE PRACTICAL WITH NO MORE THAN TWO PASSES OF THE ANCHORING EQUIPMENT.
- IMMEDIATELY UPON COMPLETION OF THE MULCHING AND BINDING OPERATION, THE SEEDED AREAS SHALL BE IRRIGATED, KEEPING THE TOP 2 INCHES OF SOIL EVENLY MOIST UNTIL SEED HAS UNIFORMLY GERMINATED AND GROWN TO A HEIGHT OF 2-INCHES.
- WATERING APPLICATION SHALL BE DONE IN A MANNER WHICH WILL PROVIDE UNIFORM COVERAGE BUT WHICH WILL NOT CAUSE EROSION, MOVEMENT, OR DAMAGE TO THE FINISHED SURFACE.

Site Identity

34 DWELLING UNITS = 5 REQUIRED ELEMENTS

ELEMENTS PROVIDED:

POLLINATOR PLANTING PALETTE	(1) ELEMENT
SOFT SURFACE TRAIL	(1) ELEMENT
POCKET PARK	(1) ELEMENT
PLAYGROUND	(1) ELEMENT
WOOD FENCING	(1) ELEMENT

TOTAL PROVIDED 5 ELEMENTS

Park & Open Space Statistics

34 DWELLING UNITS = 0.34 AC PARK REQUIRED

POCKET PARK= 0.79 ACRES PROVIDED

FUNCTIONAL OPEN SPACE ELEMENTS (2 REQUIRED):
GREENWAY (1)
USEABLE DETENTION AREAS (1)

Legend

46,770 S.F.

IRRIGATED TURF DURA-TURF SOD

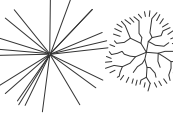
5,106 S.F.

SHREDDED CEDAR WOOD MULCH (IRRIGATED)
ALL SHRUB BED AREAS TO RECEIVE MINIMUM 4"-6" SHREDDED CEDAR WOOD MULCH

484,558 S.F.

IRRIGATED NATIVE FOOTHILLS GRASS MIX
ARKANSAS VALLEY SEED MIX (OR APPROVED EQUAL)

STEEL EDGER, ROUNDED TOP



EXISTING TREES

XX SF

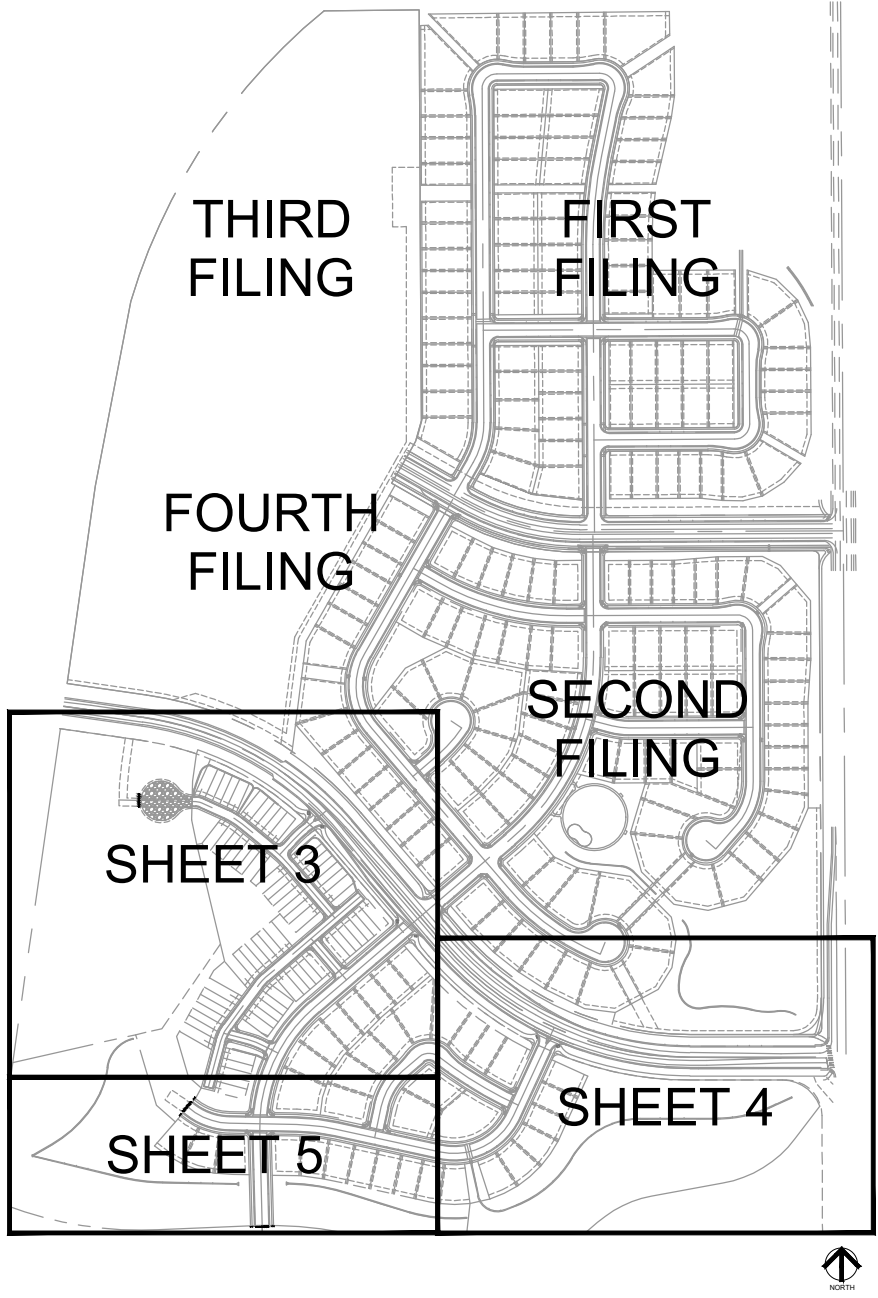


IRRIGATED TREES IN NATIVE TBD AT FINAL X 75 SF)

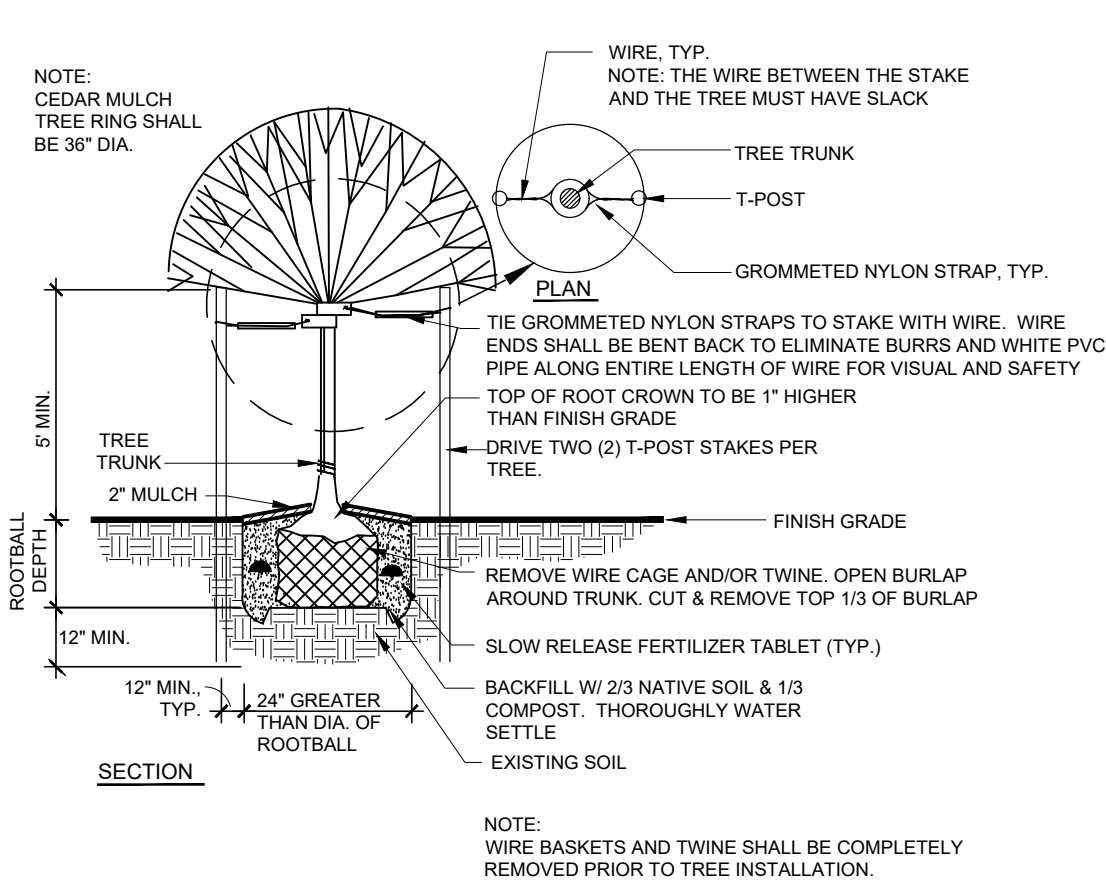


TREES BY OWNER (83)

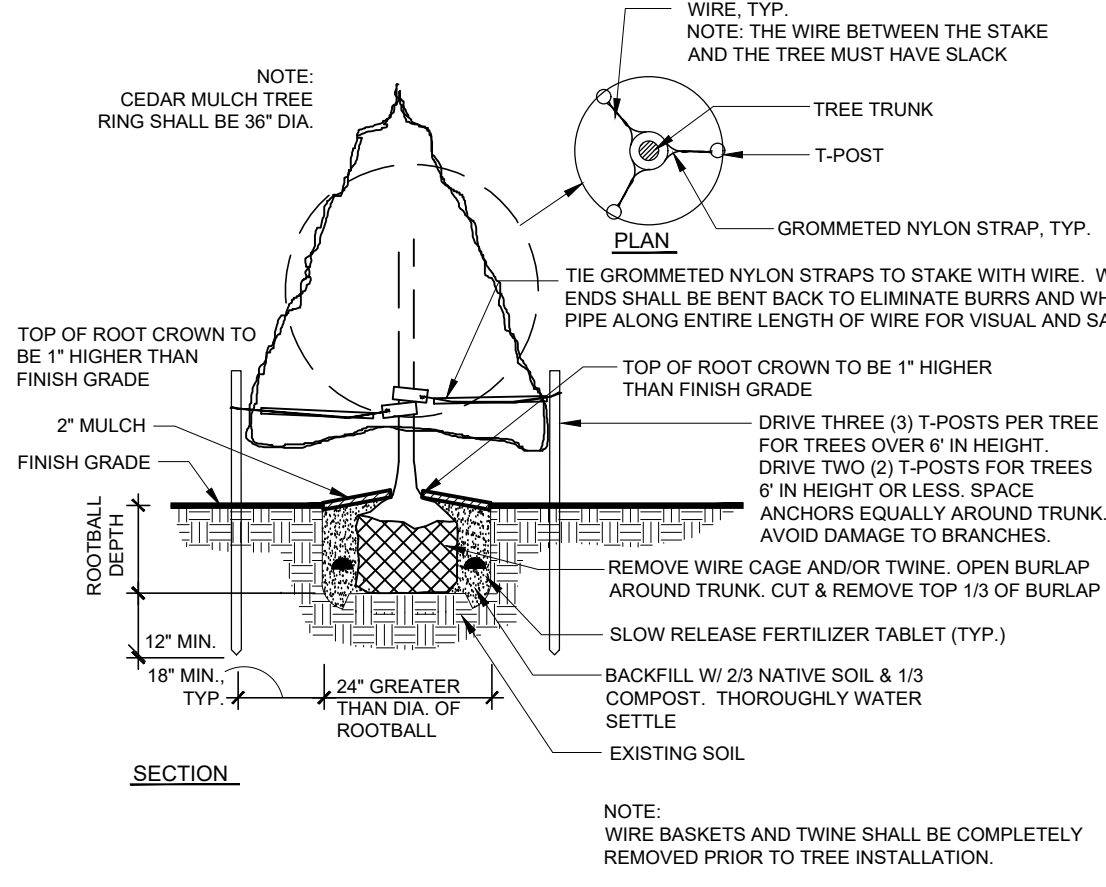
Sheet Key



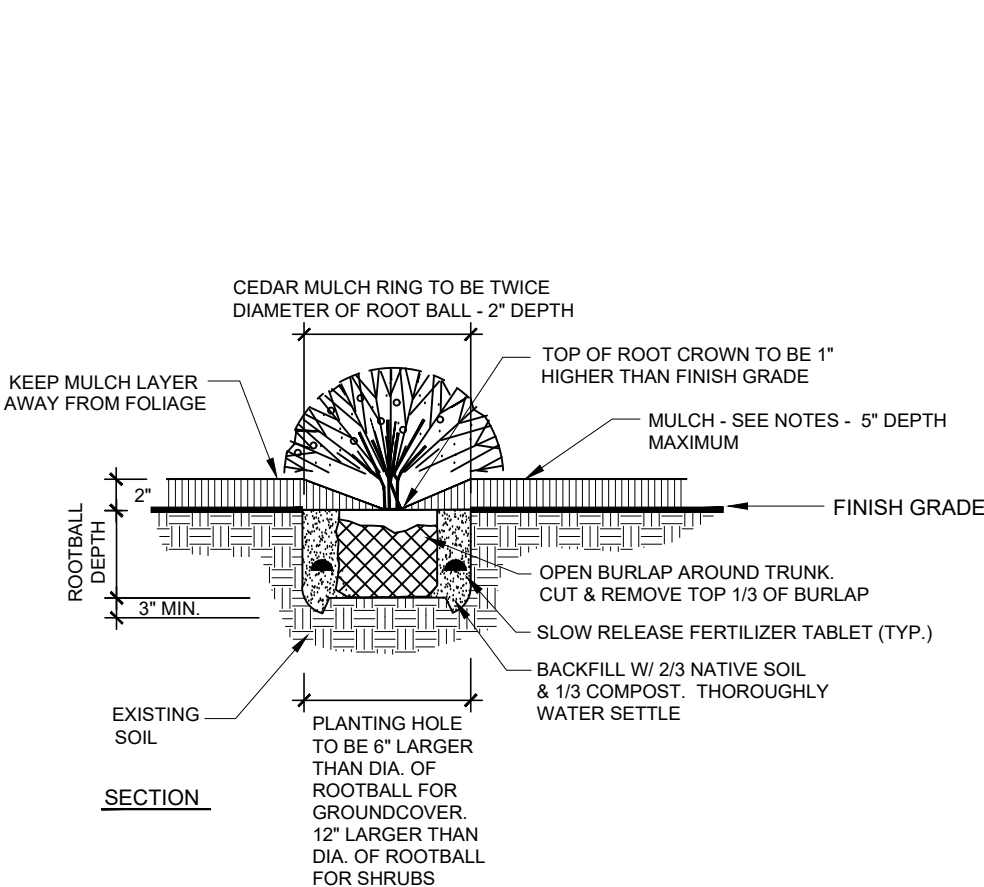
Planting Details



DECIDUOUS TREE PLANTING DETAIL



CONIFER TREE PLANTING DETAIL



GROUND COVER & SHRUB PLANTING DETAIL



444 Mountain Ave. | Tel. 970.532.5891
Berthoud, CO 80513 | Web TBGroup.us

SEAL

PROJECT TITLE

HAMMOND FIFTH FILING

Preliminary Landscape Plan

Berthoud, Colorado

PREPARED FOR

CALEB DEVELOPMENT, LLC.

212 North Wahsatch Ave
Suite 301
Colorado Springs, CO 80903

NOT FOR CONSTRUCTION
FOR REVIEW ONLY



REVISIONS	DATE
Staff Comments	4.16.19
Staff Comments	7.11.19
Staff Comments	8.30.19
Staff Comments	9.27.19

DATE

January 31, 2019

SHEET TITLE

Notes & Details

SHEET INFORMATION

SHEET 2 OF 7



Plant List					
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46,770 S.F.

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5,106 S.F.

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ALL SHRUB BED AREAS TO RECEIVE MINIMUM 4"-6" SHREDDED CEDAR WOOD MULCH

484,558 S.F.

IRRIGATED NATIVE FOOTHILLS GRASS MIX
ARKANSAS VALLEY SEED MIX (OR APPROVED EQUAL)

XX SF

IRRIGATED TREES IN NATIVE
TBD AT FINAL X 75 SF)

TREES BY OWNER (83)

STEEL EDGER, ROUNDED TOP

EXISTING TREES

NORTH

0

50'

75'

100'

SCALE 1" = 50'-0"

landscape architecture | planning | illustration

444 Mountain Ave.
Berthoud, CO 80513

TEL: 970.532.5891
WEB: TBGroup.us

SEAL

PROJECT TITLE

HAMMOND FIFTH FILING

Preliminary Landscape Plan

Berthoud, Colorado

PREPARED FOR

CALEB DEVELOPMENT, LLC.

212 North Wahsatch Ave
Suite 301
Colorado Springs, CO 80903

NOT FOR CONSTRUCTION FOR REVIEW ONLY

CALL UTILITY NOTIFICATION CENTER OF COLORADO

Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRAB, OR LOCATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

REVISIONS	DATE
Staff Comments	4.16.19
Staff Comments	7.11.19
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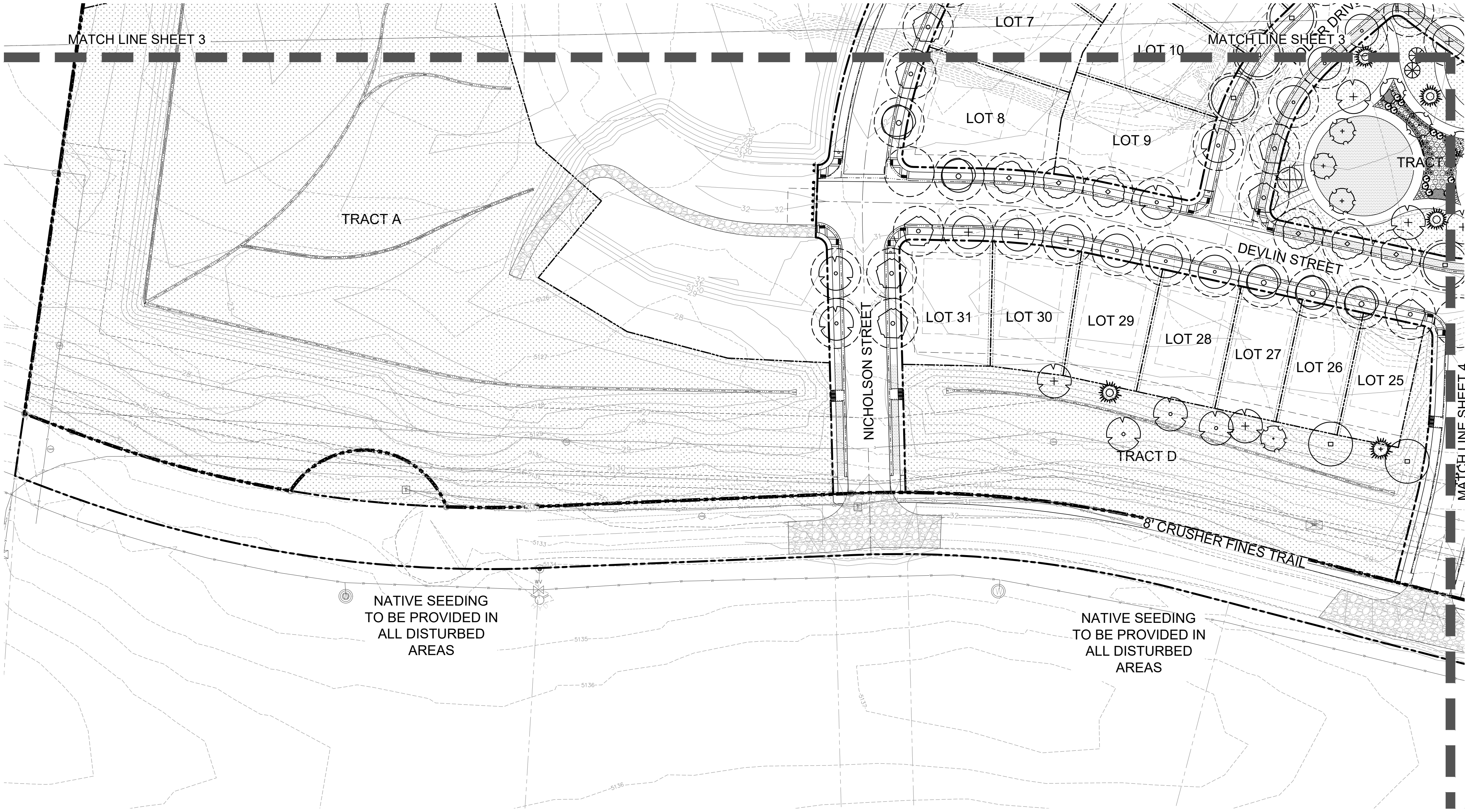
January 31, 2019

SHEET TITLE

Landscape Plan

SHEET INFORMATION

SHEET 3 OF 7



Legend

- 46,770 S.F.

IRRIGATED TURF
DURA-TURF SOD
- 5,106 S.F.

SHREDDED CEDAR WOOD MULCH (IRRIGATED)
ALL SHRUB BED AREAS TO RECEIVE MINIMUM
4"-6" SHREDDED CEDAR WOOD MULCH
- 484,558 S.F.

IRRIGATED NATIVE FOOTHILLS GRASS MIX
ARKANSAS VALLEY SEED MIX (OR APPROVED EQUAL)
- STEEL EDGER, ROUNDED TOP
- EXISTING TREES
- XX SF

IRRIGATED TREES IN NATIVE
TBD AT FINAL X 75 SF)
- TREES BY OWNER (83)

Plant List

KEY	QTY	RATIO	SCIENTIFIC/Common Name	HEIGHT	WIDTH
110 SHADE/CANOPY TREES -					
12	6.7%		Catalpa speciosa CATALPA	60'	50'
6	3.9%		Populus angustifolia COTTONWOOD, NARROWLEAF	50'	30'
17	10.7%		Gymmodladus dioicus COFFEETREE, KENTUCKY	60'	50'
14	9.6%		Celtis occidentalis HACKBERRY, WESTERN	60'	50'
12	6.7%		Gleditsia triacanthos inermis 'Shademaster' HONEYLOCUST, SHADEMASTER	40'	40'
16	10.7%		Tilia americana 'Redmond' LINDEN, REDMOND	50'	40'
8	6.2%		Acer platanoides 'Fairview' MAPLE, FAIRVIEW	40'	30'
5	3.9%		Quercus macrocarpa OAK, BUR	60'	60'
20	12.9%		Quercus rober OAK, ENGLISH	50'	40'
19 EVERGREEN TREES -					
10	5.6%		Pseudotsuga menziesii FIR, DOUGLAS	50'	20'
9	7.3%		Picea pungens 'Bakeri' SPRUCE, BAKERI	35'	15'
29 ORNAMENTAL TREES -					
8	4.5%		Malus 'Royal Raindrops' CRABAPPLE, ROYAL RAINDROPS	15'	15'
12	6.7%		Syringa reticulata JAPANESE LILAC TREE	25'	20'
3	2.8%		Quercus gambellii OAK, GAMBEL	20'	12'
6	3.9%		Amelanchier x grandiflora 'Autumn Brilliance' SERVICEBERRY, AUTUMN BRILLIANCE	20'	
112 DECIDUOUS SHRUBS -					
3	---		Buddleia davidii 'Nanho Purple' BUTTERFLY BUSH, COMPACT PURPLE	5'	5'
22	---		Cornus baileyi DOGWOOD, REDTWIG	4'	4'
21	---		Syringa meyeri 'Palibin' LILAC, DWARF KOREAN	4'	4'
12	---		Prunus besseyi 'Pawnee Buttes' SAND CHERRY, WESTERN PAWNEE BUTTES	30"	6'
54	---		Caryopteris x clandonensis SPIREA, BLUE MIST	4'	4'
398 PERENNIALS/GRASSES -					
46	---		Monarda 'Cambridge Scarlet' BEE BALM, RED	3'	1.5'
77	---		Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	2'	2'
84	---		Hemerocallis 'Autumn Red' DAYLILY, RED	2'	2'
18	---		Linum perenne FLAX, BLUE	2'	1.5'
25	---		Helichtotrichon sempervirens GRASS, AVENA	3'	2'
27	---		Bouteloua gracilis 'Blonde Ambition' GRASS, BLONDE AMBITION GRAMA	3'	2'
14	---		Calamagrostis acutiflora 'Karl Foerster' GRASS, FEATHER REED	5'	2'
39	---		Panicum virgatum 'Heavy Metal' GRASS, HEAVY METAL BLUE SWITCH	3'	18"
39	---		Sorghastrum nutans GRASS, INDIAN	5'	4'
29	---		Agastache rupestris HYSSOP, SUNSET	3'	3'
			SHOWY MILKWEED	4'	3'

IN ANY INSTANCE WHERE THE PLANT LIST OR LANDSCAPE QUANTITIES DO NOT MATCH THE PLAN, REQUIRED PLANTS/QUANTITIES SHALL BE PER THE PLAN. CONTRACTOR SHALL VERIFY QUANTITIES.

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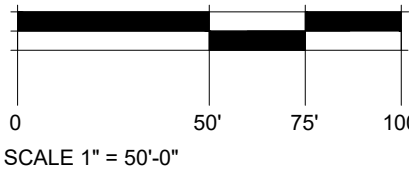
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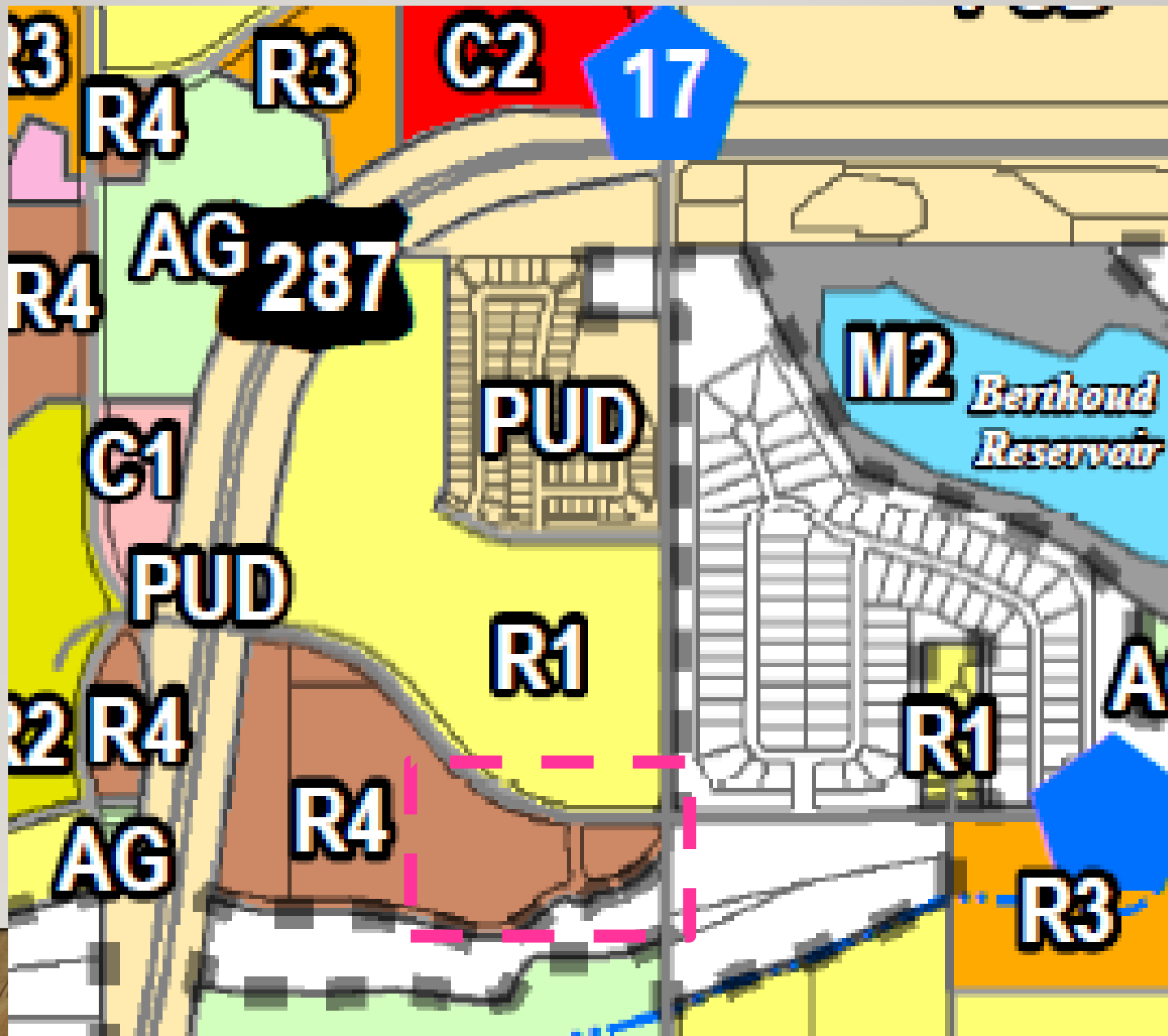
Landscape Plan

SHEET INFORMATION

SHEET **5** OF 7



ZONING



HAMMOND PREFERRED LAND USE



LEGEND

Land Use Designation

- Low Density Rural Residential (Up to 0.5 DU/AC)
- Low Density Suburban Residential (Up to 2 DU/AC)
- Moderate Density Residential (2 to 6 DU/AC)
- High Density Mixed Use Residential (6 - 14 DU/AC)
- Commercial/Office
- Employment
- Berthoud Growth Management Area/Boundary
- Town of Berthoud Area of Community Influence (ACI)
- Natural Preserve/Open Lands (Parks, Bodies of Water, Hwy 287 Buffer, Trail Corridor Conservation Easement (CE) Irrigation Ditches)
- View Corridor Areas that may serve to preserve views to agricultural lands, natural areas and mountains along major roadway corridors.